

**PLANNING COMMISSION  
AGENDA REPORT**



**CITY OF MILLBRAE  
621 Magnolia Avenue  
Millbrae, CA 94030**

**SUBJECT:** DESIGN REVIEW PERMIT to allow a lower floor addition and partial demolition and new construction of a two-story residence and a SETBACK EXCEPTION to allow less than the minimum required upper floor setbacks of a two-story, single-family residence in the Single-Family (R-1) Zoning District. (Public Hearing)

**ATTACHMENTS:**

1. Project Description
2. Neighbor Consultation Forms
3. Site Photos
4. Plans
5. Color & Material Board (available at meeting)
6. 906 Springfield Drive view neighbor photos
7. 903 Springfield Story Pole Photos (staff)

**Report No. 7a**

**For Agenda of:** July 20, 2020

**Address:** 903 Springfield Drive

**Property Owner:** Kevin Lu

**Applicant:** Wing Lee

**Originator:** Sam Fielding,  
Senior Planner

**Application submittal date:**

January 25, 2019

**Application deemed complete date:**  
June 24, 2020

**Prior Planning Commission  
meeting date(s):** None

**REPORT TYPE: ACTION  INFORMATIONAL**

**ITEM TYPE: CONSENT  PUBLIC HEARING  EXISTING BUSINESS   
NEW BUSINESS**

**EXECUTIVE SUMMARY**

The proposed project involves the partial demolition of an existing two-story residence, construction of lower floor and second floor additions approximately 1,376 square feet, to an existing 3,386 square foot (sf) home with a two car garage located at 903 Springfield Drive. The lower floor includes an attached Accessory Dwelling Unit (ADU). The ADU is not subject to design review and can be permitted under a building permit after the entitlements for the primary home is approved by the Planning Commission. The proposed project meets all development standards required for the Single-Family Residential (R1) Zone, except for a SETBACK EXCEPTION for the upper floors in order to renovate the residence so the design is compatible with the existing building and neighboring homes. The subject property is a 15,432 sf lot, pie shaped lot with a backyard consisting of a downward slope toward the east. Due to the 5,524 sf sloped area greater than 30% the net developable site is 9,908 square feet. The floor area ratio (FAR) for the project is calculated using 9,908 square feet.

The new proposed FAR for the project would include a basement ADU (not under design review) total of 1,008 sf, first floor total of 2,611 sf and second floor total of 1,613 sf, for a total gross floor area of 5,232 sf (including the 757 sf garage area). The renovated house would have a 20% lot coverage (50% allowed) and a 53% floor area ratio (55% allowed) and would be 30' in height (30

feet allowed). See the Zoning Compliance Table on page 4 for all zoning calculations.

## **RECOMMENDATION**

Staff recommends that the Planning Commission review the project, consider the public testimony and the Findings, as presented, and consider adopting the attached Resolution approving the application for a DESIGN REVIEW PERMIT to allow a lower floor addition and partial demolition and new construction of a two-story residence and a SETBACK EXCEPTION to allow less than the minimum required upper floor setbacks of a two-story, single-family residence in the Single-Family (R-1) Zoning District, subject to the attached Conditions of Approval.

## **NEIGHBORHOOD AND SURROUNDING USES**

The project is located at 903 Springfield Drive at the end of a cul-de-sac street, east of Alp Way, in the Glenview Highlands subdivision, in the east hills area of Millbrae. El Capitan Drive is located directly adjacent and below the lot on the eastern side of the property. Both El Capitan Drive (to the east) and Clearfield Drive (to the south) are screened by a large stand of cedar, pine, cypress and oak trees in the backyard of the residence at 903 Springfield. All of the existing trees will remain untouched. As a condition of approval, tree protection measures by a licensed arborist shall be installed and verified prior to the issuance of building permits. The majority of the lots in the area are defined as Low Density Residential in the General Plan and are rectangular lots, 7,500 sf in size with attached two-car garages. The three lots at the end of Springfield Drive are larger, and range from 13,200 sf to 16,783 sf in size. Most residences are two-story, ranch style homes built in the late 1960s to early 1970s. Several nearby, two-story homes on Springfield Drive have enclosed, second-story front balconies and were built with no second floor setbacks.

<b>Project Address: 903 Springfield Drive</b>					
	<b>Site</b>	<b>North</b>	<b>South</b>	<b>East</b>	<b>West</b>
<b>General Plan</b>	Low Density Residential	Low Density Residential and Large Lot	Low Density Residential	Low Density Residential	Low Density Residential
<b>Zoning</b>	R-1	R-1, R-1LL	R-1	R-1	R-1

## **PROPOSED PROJECT**

### *Existing Residence*

The existing a two story residence includes: a first floor consisting of a covered front entry porch, foyer, stairway to the second floor, one bathroom, hallway connecting to one bedroom with closet, a living room, kitchen open to family room with fireplace (to be removed), dining room open to uncovered wood deck and sunroom open to second uncovered deck. The front hallway connects to the bedroom and the two-car garage. The existing front yard landscaping consists of a grass lawn with plant hedges at entryway and a two-car driveway. The second floor contains four bedrooms with closets, two bathrooms, hallway connecting the bedrooms and an uncovered wood porch (to be removed) off of the master bedroom. The existing exterior materials and finishes include cement stucco, wood siding, vinyl windows, brick chimney with wood fence with existing

shingled hip and gable roof. The property site contains concrete pathways on the north and south sides of the house to the rear of the L-shaped house connecting two concrete patios and two ground level wood decks. There is one small second floor uncovered wood porch. The backyard slopes steeply to the east and there are three wood retaining walls and one wood post wall which will be removed. There are 19 existing trees (a mix of pine, cedar, cypress and oak species) located in the rear east and southeast portion of the lot, which will remain undisturbed. As a condition of approval, tree protection measures by a licensed arborist shall be installed and verified prior to the issuance of building permits (see Special Condition A). The existing roof pitch is 3:12 with an open gable roof type.

#### *Proposed Residence*

The proposed project would partially demolish the first and second floor of the residence, construct a new first and second floor and a new lower level accessory dwelling unit with a separate entry (not under design review). The new residence would be primarily within the existing building footprint. The first floor will include: covered patio entry, foyer, stairway to the second floor, front guest room/den, hallway connecting to bedroom with closet and bathroom and access to uncovered deck, entertainment room, kitchen open to dining room and living room with access to a covered above grade deck. The entry hallway will also provide separate access to a three car garage with space for laundry facilities and a half-bathroom. The second floor will have three bedrooms with closets, three bath rooms a multipurpose room and a small uncovered deck off of the rear bedroom. The lower level ADU will consist of two bedrooms with closets, two bathrooms and a kitchen open to living room. Access will be provided by side staircase down to a rear entrance from the rear at grade uncovered deck.

The project will enhance the front yard landscaping by installing new permeable paved walkway and driveway, drought tolerant plantings along the façade of the front of the building, grass lawn and two front yard trees (acacia stenophylla).

### **ANALYSIS**

#### **Design Review**

Section 10.05.2500 (Design review permits, B.1.d) of the Millbrae Municipal Code requires Design Review, pursuant to the City's adopted Residential Design Guidelines, for which a Design Review Permit is requested. The Design Guidelines include generalized review criteria that seek to integrate additions into the existing character of the structure and neighborhood, while respecting the privacy, views, and solar access of neighboring properties. This project requires Design Review because the applicant is adding a second floor greater than 500 square feet to the residence with a setback exception request to allow less than the required second floor setback.

The existing two story residence is a ranch style design home with asphalt composite shingle roofing, similar to adjacent homes in the subdivision. The front exterior includes tan wood siding walls with white roof lines and white painted wood window trim, sliding and fixed windows and a white painted wood garage. There is an existing 3:12 sloped roof with open gable roof type.

The new exterior materials for the resident will eliminate some of the exterior walls to increase the use of natural light. (A material board is available at the Planning Commission meeting). The

exterior material will utilize sustainable cladding materials which are UV resistive and thermally stable with lower maintenance requirements. The landscaping will be improved with the existing driveway replaced with permeable surface. The majority of the landscape species for the front and sides of the residence will be drought-tolerant plants to minimize irrigation.

The proposed residence exterior finish will include: first floor white panel exterior concrete wall (“white satin”) with grey (“grey satin”) exterior panel form for the front entry inset. The second floor exterior will consist of composite wood panel (“royal mahogany”) siding and will have three new dormers added to the front so the horizontal roof form is broken up for visual interest. The owner has considered the privacy of adjacent neighbors by designing the house with no direct new windows facing the bedroom windows of the abutting neighbors. In addition, the renovated residence will closely match the existing house footprint and the building massing at the front will remain the same, with no increase of height as perceived from Springfield Drive.

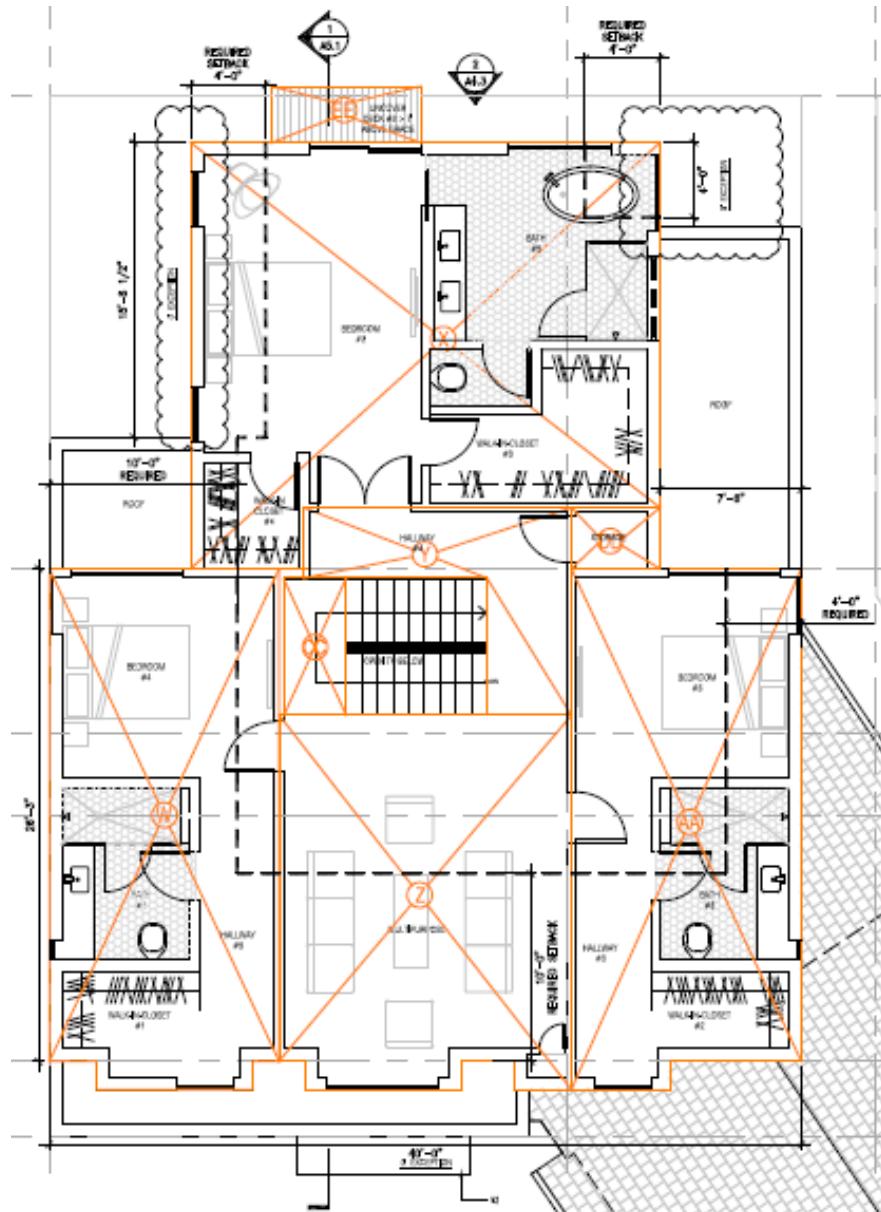
The first and second floor windows will be dark bronze anodized clad aluminum windows. The entry will have a wood-like steel gate to a covered porch entry. The front three-car garage door will have wood siding to match the second floor exterior wall siding. The front landscape will have a permeable pavement driveway and new permeable pavement walkway to the front entrance of the house. The proposed roof will be a 3:12 sloped roof with combination open gable hip type. New front yard landscaping will include ground cover plant along the exterior of the building and two new trees (acacia stenophylla) located at the north and south sides of the front yard.

#### Setback Exception

The applicant is requesting a setback exception on the second floor north and south sides and west front of the residence. The applicant is requesting no setback (0') on the rear north and south sides, where 4 feet setbacks are required and no setback (0') in the front where a 10' setback is required. Due to the unique triangular shape of the corner lot and steep non-developable rear lot, space would be limited for a second floor addition to the home with the side and front setbacks. The property slopes steeply (greater than 30%) at the rear of the house, therefor expanding on the rear portion of the lot is not feasible. Expanding the residence on the second floor without setbacks is the best option. Due to the slope of Springfield Drive, each residence is tiered as the street slopes downward (east), thus reducing potential view blockage or privacy intrusion of the proposed addition. The addition is located primarily in the rear portion of the building and is angled so that it does not directly face the adjacent neighbors.

(this space intentionally left blank)

Floor plan diagram showing second floor exception areas



The design and landscaping of the house will primarily match the existing building footprint, which currently has no setbacks, and the design will be compatible with the existing style of residences in the neighborhood, that also do not have setbacks. Finally, the applicant will add two new trees in the front yard which will further screen the proposed second story addition. The granting of the second floor setback exception will not, under the circumstance of the particular case, be detrimental to property and improvements existing upon any abutting parcel.

## **Story Pole Evaluation**

The adjacent neighbor located to the north of the project site (906 Springfield Drive), expressed concerns about the projects' impact to their Bay views and light. The applicant spoke with the adjacent neighbor when they were designing the plans regarding their concerns about views and sunlight and revised their plans to reduce the rear two-story addition footprint so that it does not extend further than the existing rear patio. Subsequent to the plans submitted to staff, the adjacent neighbor continued to express concerns about views and sunlight impacts.

To evaluate the neighbors' concerns, staff requested the adjacent neighbor submit photos of views from the first and second floors of the primary rooms (living room and bedrooms). In addition, staff requested the applicant install story poles to evaluate the height and mass of the proposed project. Story poles are used to depict the elevations and silhouette of a proposed structure or an addition to an existing structure, and are required when deemed necessary to assist neighbors, staff and decision makers in the evaluation of a project requiring Planning Commission approval. The story poles provide the project applicant, neighbors, City staff, and the Planning Commission the ability to view the size and shape of the proposed structure in order to objectively assess the project's basic appearance and physical impacts.

According to the Millbrae General Plan Land Use Goals and Policies, to preserve the quality of residential neighborhoods, special attention is given to the protection of views from nearby properties (Millbrae General Plan Land Use Goal 1, (1)) and residential design that strives to achieve the location and design of structures and landscaping improvements so as to minimize the obstruction of primary views (defined as from living and bedrooms) from structures on neighboring properties. **Some minor loss of view may be consistent with this policy if necessary to protect a property right.** (Millbrae General Plan Land Use Goal 2.2 (f)).

Staff evaluated neighbor concerns regarding impacts to bay views and sunlight from the proposed two-story rear addition based on the following: (1) a staff site visit to view the story poles and evaluation of the addition impacts based on the installed poles, (2) submitted view photos from 906 Springfield Drive, and (3) the applicant's plans. Staff visited the site with the story poles on the morning of June 18, 2020. After completing the evaluation, staff concluded that the plans submitted by the applicant proposing a two story horizontal addition in the same footprint of the existing building including the rear patio, minimizes view impacts from the adjacent neighbor. Based on the site visit, staff observed that even with the rear addition, as indicated by the story poles, the adjacent neighbors have nearly a 170 degree easterly view of San Bruno Mountain and the bay to the east. To the extreme south the view is obstructed by existing trees and hillside ridges of Millbrae. In addition, at 10 am in the morning, there was ample sunlight shining on the adjacent home side rooms and as the sun passes higher, it would be blocked by the existing residential structure at 903 Springfield. It is staff's conclusion that the rear two-story addition will not significantly reduce sunlight to the adjacent property owners and will have a less than significant impact on the adjacent neighbor views. The adjacent neighbors will still have majority unobstructed views eastward from both first and second floors of the residence (See Plan Sheet A2.0 and story pole site photos)

## ZONING COMPLIANCE

The proposed addition complies with minimum and maximum development standards as follows (existing non-conforming in *italics*; proposed non-compliant in ***bold italics***)

	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>
Lower Floor (South) Side Setback	5 Ft.	60 Ft.	60 Ft.
Lower Floor (North) Side Setback	5 Ft.	5 Ft.	5 Ft
Lower (East) Rear Setback	10 Ft.	51 Ft.	47 Ft.
1 <sup>st</sup> Floor Front (West) Setback	20 ft.	<i>19' – 25'</i>	<i>19'-25'</i>
1 <sup>st</sup> Floor (North) Side Setback	5 ft.	5 Ft.	5 Ft.
1 <sup>st</sup> Floor (South) Side Setback	5 ft.	6'- 3"	6' – 3"
2 <sup>nd</sup> Floor Front (West) Setback	10 ft.	0'	<b>0'</b>
2 <sup>nd</sup> Floor (North) Side Setback	4 ft.*	0'	<b>0'</b>
2 <sup>nd</sup> Floor (South) Side Setback	4 ft.*	0'	<b>0'</b>
Max. Building Height	30 ft.	21' – 6"	30'
Min. Rear Yard Open Space	1,000 sf	5,085 sf	5,085 sf
Lot Area (min. 5,000 sf required)	5,000 sf	15,432 sf	9,908 sf (developable)**
Max. Lot Coverage	50% ( 7,712 sf)	23% (3,486 sf)	20% (3,602 sf)
Max. Floor Area Ratio	55% (5,449 sf)	39% (3,856 sf)	53% (5,232 sf)
Parking Spaces	2 garage spaces	2 garage spaces	3 garage spaces, 2 driveway spaces
Garage Area	400 sf	736 sf	757 sf

\*Reduction factor second floor setback reduced by 2 feet for each 1 foot that ground floor setback exceeds 5 foot minimum, for a maximum reduction of 6 feet. (10'-6' = 4 ft.)

\*\*Net site area available for development is 9,908. 15,432 sf lot area minus 5,524 sf (slope area greater than 30%) = 9,908 sf. 9,908 sf is net site area for development used for FAR calculation.

The project meets required development standards Single-Family (R1) residential zone except for the upper floor setback requirements. The applicant is requesting an upper floor setback exception for the second floor due to the unique triangular lot, existing building footprint and steep rear slope which makes it not feasible to build the addition to the rear of the existing home. The second floor addition without setback will balance with the existing architectural design and massing of the residence. The proposal complies with the zoning regulation for maximum building height 30' (where 30 feet is allowed), lot coverage 20% (where 50% is allowed). The FAR would be 53% (where 55% is allowed).

## Neighborhood Character

The project site is an interior lot in the Single Family Residential (R-1) zoning district. Architecture styles in the surrounding neighborhood consists of a ranch style homes with a mixture of open gable style roofs built in the late 1960s and early 1970s. The majority of the residences in the neighborhood are two-story homes with a combination of stucco, wood trim and brick siding

exterior and composite shingle roofs. Most two-story homes in the subdivision do not have second story setbacks.

### Parking

There is an existing two-car parking garage at the property in compliance with the parking required for the Single-Family (R1) residential zone. The project proposes a three car garage and there is additional room for two surface parking spaces in the driveway for a total of five parking spaces.

### Public Notice Requirement

The City of Millbrae Community Development Department follows legally required public noticing requirements outlined in the Municipal Code Section 10.05.2900 including: publishing the Planning Commission meeting date not less than ten days prior to the hearing, in a newspaper of general circulation in the city and mailing notice cards to property owners within a 300 foot radius of the subject property. In addition, staff posts a staked notice on the subject property and notices in at least three public places along the property street at least ten days prior to the meeting. At least three days before the meeting, staff posts the project meeting date on the City website Planning Commission calendar; on the bulletin boards at City Hall and at the Millbrae Public Library bulletin board.

### Neighborhood Response

In accordance with the City of Millbrae Community Development Departments' Submittal Requirements for Residential Development to notify each adjacent property owner abutting the project site, a total of two adjacent residences were notified by the applicant about the proposed project and responded as follows:

Response	#	Address	Date Sent	Staff Received
Support	0			
Oppose	2	906 Springfield Drive (Certified mail and form) 911 Springfield Drive (Certified mail and form)	4/20/20 4/20/20	5/4/20 5/4/20
No response				

Two (2) adjacent neighbor consultation forms were sent by certified mail by the applicant and two adjacent neighbors are opposed to the project. The resident at 906 Springfield Drive (located north of the project) expressed opinion that building is too big and will cause foundation and landslide problems. He also states that rear addition will block his view and devalue his property. The resident at 911 Springfield Drive is opposed to the project because she is opposed to rental property in single family dwellings and believes there will be an on-street parking problem on the street.

906 Springfield: To address the adjacent neighbors' concerns about views and sunlight, staff requested the applicant install story poles to evaluate objectively the height and mass of the proposed two-story, rear horizontal addition. Staff visited the site to evaluate the story poles and Planning Commissioners were also invited for a site visit. Staff evaluated the adjacent neighbor concerns about views and sunlight and based on architecture plans, and research using aerial

photography and site photographs, determined that there would be less than significant impact to views. The adjacent owner also expressed concerns about potential for foundation and landslide problems. The applicant was required to submit a Geotechnical Study which was reviewed by the City consultant and staff has determined that the project as designed may proceed based on the condition that the applicant meet all recommendations and conclusions outlined in the Geotechnical study, during the Building review phase of the project.

With respect to view impact concerns expressed by the property owner at 906 Springfield Drive, the applicant worked with the neighbor to adjust the design to minimize view and sunlight impacts to their property. The Municipal Code directs staff to work with applicants to minimize impact to views (Bay views) from principle rooms of residence (living or bedrooms) where feasible. In this case, the applicant reduced the horizontal addition and is adding a rear addition within the existing footprint of the house and rear deck. There is a 5-foot triangular sliver of the corner of the new addition that would partially obstruct the view of trees facing south from the second floor porch of 906 Springfield Drive, but this represents a very narrow impact to the existing 180 degree view. Staff requested the applicant install story poles so staff could evaluate the height and mass objectively. Staff evaluated the view based on photos provided by the adjacent neighbor and story pole site visit and estimates that the majority of the views east towards, San Bruno Mountain, the Bay and Millbrae below, would remain unobstructed. (See attached photos provided by 906 Springfield Drive and staff story pole photos) Based on the evaluation of the story poles site visit, plans and photos, staff concluded that the proposed rear addition does not significantly impact bay views or sunlight. (See Story Pole Evaluation on pg. 4 of the report)

911 Springfield Drive: Staff responded to the property owner at 911 Springfield Drives' concerns about rental property by telephone in February, 2020 and explained that the proposed residence remodel and addition is not a rental home. According to the applicant, the property owner is remodeling and expanding the single family residence to accommodate their family when they move from South San Francisco to Millbrae, where their two sons will be enrolling into school. The applicants are also adding a rear, ground floor accessory dwelling unit (ADU) which meets state ADU requirements, is permitted by right, and not under review by Planning Commission. The proposed project will provide the required parking for the size of the single family residential home of three car garage parking space and have room for two more surface parking spaces in the driveway, therefor there should not be any impact to on-street parking demand.

## **REQUIRED FINDINGS**

### **Design Review**

Pursuant to Section 10.05.2500.C.2 of the Millbrae Municipal Code the design review application materials shall be evaluated by the planning commission. The following findings are required under this Section Code, for the Planning Commission to approve the requested Design Review Permit:

- a. The architectural, landscaping, and general appearance of the proposed building or structure and grounds are in keeping with the character of the neighborhood;**

Architecture styles in the surrounding neighborhood consists of ranch style homes with open gable style roofs built in the 1960s and 1970s. The residences in the neighborhood are two-story homes with a combination of stucco, wood trim and brick veneer exterior and composite shingle roofs. Most two-story homes in the subdivision do not have second story setbacks. The existing front yard landscaping of grass lawn will be improved with two new small trees planted on both the north and south sides of the front yard. The first and second story addition will match the existing footprint of the residence but will have a more modern style with combination of first floor stucco and second floor wood siding and three front dormers. The front dormers will enhance the residence, while being compatible with the neighboring residence architectural styles. The proposed two-story, single-family residence architecture, landscaping and general appearance is in keeping with the character of the neighborhood.

**b. The plans comply with all applicable development regulations;**

The project meets required development standards for the Single-Family (R1) residential zone with exception of the second floor setback exceptions request in order to have an architectural style the matches the existing building footprint, while being compatible with neighboring residences. The proposal complies with the zoning regulation for maximum building height (30 feet, where 30 feet are allowed), lot coverage (20% where 50% is allowed) and floor area ratio (53% where 55% is allowed). The project provides three-car garage parking (two car garage is required) and space for two uncovered parking space in the driveway for a total of five off-street parking spaces.

**c. The project complies with the intent of the design guidelines, including that the project will not cause a significant visual impact to neighboring views from principal rooms of a residence (unless it is proven by the applicant that there is no other viable or cost-effective alternative);**

The subject property is located at the east cul-de-sac end of Springfield Drive, east of Alp. The new structure will result in an overall building height of 30 feet compared to the existing height of 21 feet – 6 inches, an increase of 8 feet – 4 inches. There is a large downward sloping, tree covered backyard, behind the subject property and no visual impacts to neighboring views were identified by staff. Based on submitted plans, site visit, and story pole evaluation, no significant view impacts were identified as a result of the proposed project.

**d. The proposal is not detrimental to the orderly, harmonious, and safe development of the City and will not impair the desirability of investment or occupation in the neighborhood in which the building or structure is proposed to be erected.**

The proposal will result in a partial demolition of a two-story home and construction of a lower level ADU (not part of design review) and new first and second story addition within the existing building footprint in the Single Family Residential (R-1) Zoning District. The project complies with all standards except for a second story setback exception. The setback exception is requested to match the architectural style and footprint of the existing residence and neighboring residences, none of which have second story setbacks. The

project will be required to comply with all applicable building and fire safety codes. Therefore, based upon the above findings, the addition is not detrimental to the orderly, harmonious, and safe development of the City and will not decrease the desirability of the neighborhood or disrupt the orderly development of the City.

### Setback Exception

The following findings are required under Section 10.05.2530.D. of the Millbrae Municipal Code in order for the Planning Commission to approve the requested Second Floor Setback Exception:

- 1- The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will not, under the circumstance of the particular case, be detrimental to property and improvements existing upon any abutting parcel.**

The proposed use is a single-family addition, in an R-1 (Single-Family) zoning district, that does not fully comply with the minimum required upper floor setbacks under Millbrae Municipal Code Section 10.05.0620.D.2. The applicant is requesting a setback exception on the second floor sides and front of the residence. The applicant is requesting no second floor setback (0') on the sides and front where four (4) feet setbacks are required on the sides and a 10' setback is required at the front. The applicant requests the exception to design the house to match the existing building footprint, which has no setbacks, and to be compatible with the existing style of residences in the neighborhood that do not have setbacks. Due to the unique triangular shape of the corner lot, space is limited for a second story addition with side and front setbacks. The property slopes steeply at the rear of the house, thus expanding the residence on the first floor in the rear is not feasible and adding a second story rear addition is the best option. Regarding view obstructions, due to the slope of Springfield Drive, each residence is tiered as the street slopes downward (toward the east), thus reducing potential view blockage or privacy intrusion of the proposed addition. The addition is located primarily in the rear portion of the building and is angled away from adjacent property owners, so that it does not directly face the adjacent neighbors. The applicant will add two new trees in the front yard which will further screen the proposed second story addition. The granting of the second floor setback exception will not, under the circumstance of the particular case, be detrimental to property and improvements existing upon any abutting parcel.

- 2- The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will, under the circumstance of the particular case, be compatible with the property and improvements existing or proposed upon the project site.**

The proposed use is a single-family addition, within an R-1 Zoning District, that does not fully comply with the minimum required upper floor front and side setbacks under Millbrae Municipal Code Section 10.05.0620.D.2. The proposed second story addition is primarily at the rear of the building and matches the existing building footprint which does not have upper floor setbacks. Due to the triangular lot and steep rear slope (greater than 30%) at the rear of the residence which is considered not developable by Code, it is preferable to

fully use the second floor space for the addition. On south side of the subject property, the proposed upper story is located over 48 feet away from the south side neighbor, and the required north side setback. The project will be compatible with the property and improvements existing or proposed upon the project site.

### **ENVIRONMENTAL REVIEW**

This project has been determined to be Categorically Exempt pursuant to Section 15301 Class 1, (e) of the California Environmental Quality Act in that it allows for an addition which will not result in an increase of more than 10,000 square feet.

### **PLANNING COMMISSION ACTION**

Staff recommends that the Planning Commission review the project, consider the public testimony and the Findings, as presented, and consider adopting the attached Resolution approving the application for a DESIGN REVIEW PERMIT to allow a lower floor addition and partial demolition and new construction of a two-story residence and a SETBACK EXCEPTION to allow less than the minimum required upper floor setbacks of a two-story, single-family residence in the Single-Family (R-1) Zoning District.

## RESOLUTION NO.

### **RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILLBRAE APPROVING A DESIGN REVIEW PERMIT TO ALLOW A LOWER FLOOR ADDITION AND PARTIAL DEMOLITION AND NEW CONSTRUCTION OF A TWO- STORY RESIDENCE AND A SETBACK EXCEPTION TO ALLOW LESS THAN THE MINIMUM REQUIRED UPPER FLOOR SETBACKS OF A TWO-STORY, SINGLE- FAMILY RESIDENCE IN THE SINGLE-FAMILY (R-1) ZONING DISTRICT. (PUBLIC HEARING)**

#### **CITY OF MILLBRAE**

---

WHEREAS, the applicant has filed Project # 2019-6 to request Design Review to allow a lower floor addition and partial demolition and new construction of a two-story residence to a two-story residence in the Single-Family (R-1) Zoning District at 903 Springfield Drive; and

WHEREAS, the proposal will consist of a new basement and partial demolition and renovation of a two story second story addition to a two-story residence with new exterior finishes and new roofing for the new structure; and

WHEREAS, the Planning Commission found that this project is consistent with the City's General Plan, Development Code, and has determined that the project is categorically exempt per Section 15301 of the California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, this Planning Commission, having considered the evidence received at the public hearing duly noticed, desires to recommend approval of the project in the manner proposed and referenced above and in accordance with the following findings;

#### **Design Review:**

The following findings are required under Section 10.05.2500.C.2. of the Millbrae Municipal Code in order for the Planning Commission to approve the requested Design Review:

- a. The architectural, landscaping, and general appearance of the proposed building or structure and grounds are in keeping with the character of the neighborhood;**

*Architecture styles in the surrounding neighborhood consists of ranch style homes with open gable style roofs built in the 1960s and 1970s. The residences in the neighborhood are two-story homes with a combination of stucco, wood trim and brick veneer exterior and composite shingle roofs. Most two-story homes in the subdivision do not have second story setbacks. The existing front yard landscaping of grass lawn will be improved with two new small trees planted on both the north and south sides of the front yard. The first and second story addition will match the existing footprint of the residence but will have a more modern style with combination of first floor stucco and second floor wood siding and three front dormers. The front dormers will enhance the residence, while being compatible*

*with the neighboring residence architectural styles. The proposed two-story, single-family residence architecture, landscaping and general appearance is in keeping with the character of the neighborhood.*

**b. The plans comply with the intent of adopted design guidelines and regulations;**

*The project meets required development standards for the Single-Family (R1) residential zone with exception of the second floor setback exceptions request in order to have an architectural style that matches the existing building footprint, while being compatible with neighboring residences. The proposal complies with the zoning regulation for maximum building height (30 feet, where 30 feet are allowed), lot coverage (20% where 50% is allowed) and floor area ratio (53% where 55% is allowed). The project provides three-car garage parking (two car garage is required) and space for two uncovered parking space in the driveway for a total of five off-street parking spaces.*

**c. The project will not cause a significant visual impact to neighboring views from principal rooms of a residence (unless it is proven by the applicant that there is no other viable or cost-effective alternative);**

*The subject property is located at the east cul-de-sac end of Springfield Drive, east of Alp. The new structure will result in an overall building height of 30 feet compared to the existing height of 21 feet – 6 inches, an increase of 8 feet – 4 inches. There is a large downward sloping, tree covered backyard, behind the subject property and no visual impacts to neighboring views were identified by staff. Based on submitted plans, site visit, and story pole evaluation, no significant view impacts were identified as a result of the proposed project.*

**d. The proposal is not detrimental to the orderly, harmonious, and safe development of the City and will not impair the desirability of investment or occupation in the neighborhood in which the building or structure is proposed to be erected.**

*The proposal will result in a partial demolition of a two-story home and construction of a lower level ADU (not part of design review) and new first and second story addition within the existing building footprint in the Single Family Residential (R-1) Zoning District. The project complies with all standards except for a second story setback exception. The setback exception is requested to match the architectural style and footprint of the existing residence and neighboring residences, none of which have second story setbacks. The project will be required to comply with all applicable building and fire safety codes. Therefore, based upon the above findings, the addition is not detrimental to the orderly, harmonious, and safe development of the City and will not decrease the desirability of the neighborhood or disrupt the orderly development of the City.*

**Setback Exception**

The following findings are required under Section 10.05.2530.D. of the Millbrae Municipal Code in order for the Planning Commission to approve the requested Second Floor Setback Exception:

- 1- The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will not, under the circumstance of the particular case, be detrimental to property and improvements existing upon any abutting parcel.**

*The proposed use is a single-family addition, in an R-1 (Single-Family) zoning district, that does not fully comply with the minimum required upper floor setbacks under Millbrae Municipal Code Section 10.05.0620.D.2. The applicant is requesting a setback exception on the second floor sides and front of the residence. The applicant is requesting no second floor setback (0') on the sides and front where four (4) feet setbacks are required on the sides and a 10' setback is required at the front. The applicant requests the exception to design the house to match the existing building footprint, which has no setbacks, and to be compatible with the existing style of residences in the neighborhood that do not have setbacks. Due to the unique triangular shape of the corner lot, space is limited for a second story addition with side and front setbacks. The property slopes steeply at the rear of the house, thus expanding the residence on the first floor in the rear is not feasible and adding a second story rear addition is the best option. Regarding view obstructions, due to the slope of Springfield Drive, each residence is tiered as the street slopes downward (toward the east), thus reducing potential view blockage or privacy intrusion of the proposed addition. The addition is located primarily in the rear portion of the building and is angled away from adjacent property owners, so that it does not directly face the adjacent neighbors. The applicant will add two new trees in the front yard which will further screen the proposed second story addition. The granting of the second floor setback exception will not, under the circumstance of the particular case, be detrimental to property and improvements existing upon any abutting parcel.*

- 2- The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will, under the circumstance of the particular case, be compatible with the property and improvements existing or proposed upon the project site.**

*The proposed use is a single-family addition, within an R-1 Zoning District, that does not fully comply with the minimum required upper floor front and side setbacks under Millbrae Municipal Code Section 10.05.0620.D.2. The proposed second story addition is primarily at the rear of the building and matches the existing building footprint which does not have upper floor setbacks. Due to the triangular lot and steep rear slope (greater than 30%) at the rear of the residence which is considered not developable by Code, it is preferable to fully use the second floor space for the addition. On south side of the subject property, the proposed upper story is located over 48 feet away from the south side neighbor, and the required north side setback. The project will be compatible with the property and improvements existing or proposed upon the project site.*

NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED BY THE PLANNING COMMISSION THAT:

1. The recitals set forth above are true and correct and are hereby incorporated herein by this reference and full set forth in their entirety.
2. The approval of the Design Review Permit and exception application will not be detrimental to the public health, safety, and general welfare.
3. This resolution shall be effective immediately.

PASSED AND ADOPTED as a Resolution of the City of Millbrae Planning Commission at the public meeting held on the 20th day of July, 2020, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

---

CHAIR

ATTEST:

---

SECRETARY

## **CONDITIONS OF APPROVAL**

Project: 903 Springfield Drive

Date: July 20, 2020

### **GENERAL REQUIREMENTS:**

1. This approval and all rights hereunder shall be effective for a period of one (1) year from the date of approval. The Planning Commission may extend this approval period, not to exceed three years, if a written request is made and submitted by the property owner prior to the expiration of the approval period (Section 10.05.2550) and a notice of a public hearing has been made pursuant to Section 10.05.2900 (D) of the Millbrae Municipal Code. Applicant shall photocopy these Conditions of Approval onto the building permit application, at time of submittal, to the Building Division.
2. Violation of any of the conditions of this permit shall be cause for the issuance of an infraction or citation, prosecution, and/or revocation and termination of all rights under the permit, by the City of Millbrae.
3. In the event of transfer of ownership of the property involved in this application, the new owner shall be fully informed of the use and development of said property as set forth by this permit together with all conditions, which are a part thereof. These specific requirements must be recorded with all title conveyance documents at time of closing escrow.
4. Site development, including landscaping, shall conform to the approved plans on file in the City of Millbrae Community Development Department. No significant changes shall be made to the approved plans without prior review and approval by the Planning Commission.
5. All landscaped areas must be maintained in a neat, healthy, and growing condition, including public parkways and street trees.
6. The property shall be developed and maintained in a neat, quiet, and orderly condition and in a manner so as not to be detrimental to adjacent properties and occupants. This shall encompass the maintenance of the exterior facades of the building and all landscaping surrounding the building.
7. All structures shall conform to California Building Code requirements and all required permits from the City of Millbrae Building Division must be secured prior to initiating development under the terms of this permit.
8. Any off-site improvements found to be damaged shall be repaired and/or replaced as required by the City of Millbrae Director of Public Works.
9. All required utility easements shall be provided as indicated by the department or agency having jurisdiction.

10. The project shall comply with all applicable “City of Millbrae Public Works General Conditions of Approval” (copy provided to applicant). This condition includes project compliance with the Public Works Construction and Demolition Reuse and Recycling Requirements, including submittal of planning forms to the City’s Recycling Coordinator prior to issuance of a Building Permit.
11. Prior to the framing inspection, a licensed surveyor shall shoot the height of the roof ridge and certify in writing that the overall building height is per the approved plans. Said certification shall be submitted to the Building Division prior to the framing inspection being scheduled.

#### **SPECIAL CONDITIONS:**

- A. Tree protection measures by a licensed arborist shall be installed and verified by staff prior to the issuance of building permits.
- B. Any proposed deviation from the Planning Commission approved plans/exhibits shall be shown to City staff for a determination of significance. All such deviations deemed significant by City staff shall be reviewed and approved by the Planning Commission and reflected in revised building plans prior to construction.
- C. If any existing roof elements or exterior walls designated on the approved plans to remain should later need to be removed or in any way altered, the applicant shall first notify the Building Official before undertaking such work to ensure that the construction plans are revised accordingly. Depending upon the extent of such unanticipated work, Planning Commission approval, in the form of an amendment to this approval, may be required prior to revising the construction plans.
- D. Prior to issuance of any building permits, all new construction shall comply with all applicable building and fire safety codes. This condition shall also apply to the alteration of existing construction in the event that such existing construction is not already fully code compliant.
- E. Hours of construction are limited from Monday to Friday 7:30 A.M. to 7:00 P.M., Saturday 8:00 A.M. to 6:00 P.M., with Sunday and Holidays from 9:00 A.M. to 6:00 P.M.

Millbrae City Planning Department  
621 Magnolia Avenue  
Millbrae, CA 94030

April 22, 2020

**RE: PROJECT DESCRIPTION OF PLANNING APPLICATION FOR 903 SPRINGFIELD DRIVE**

Dear Sir/Madam,

We are writing you in regards to Residential Design Review Submittal requirements of the proposed application at 903 Springfield Drive, Millbrae, CA 94030 for design review application with request for setback exception at the second floor for following locations.

- Along the front (west) elevation due to new dormer addition
- North elevation addition at northeastern corner,
- South elevation addition at the southeastern corner

The north and south wall at the second floor are existing walls and they are considered as non-compliant walls. No request for setback exception is needed.

Such second story wall condition are consistent with the development pattern in the existing block. While the second floor walls are setback from the front for some of the dwellings in the same block, findings confirmed that none of the existing dwellings in the block is completely compliant with the second floor setback guidelines.

The setback exception request will meet the required findings for a setback exception and consist with the Millbrae Municipal Code 10.05.2530 Exception. Per Millbrae Municipal Code 10.05.2530 Exceptions.

*D. Finding. The exception application materials should be evaluated by planning commission in relation to the following findings required in order to approve any exception:*

*1. The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will not, under the circumstance of the particular case, be detrimental to property and improvements existing upon any abutting parcel; and*

*2. The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will, under the circumstance of the particular case, be compatible with the property and improvements existing or proposed upon the project site.*

The project is a major renovation and addition to an existing two-story structure in the Single-Family Residential (R-1) Zoning District. The proposed renovation and addition will add a new accessory dwelling unit at a basement with a separate entry. The entry level and the second floor will remain as the primary unit.

The subject property is a downhill lot and is located at the terminus of the Springfield Drive. The area is zoned as R1 residential use with the lot size of approximately 15,423 sf. The neighborhood predominately consists of fully detached single-family residences.

The existing house is a two-story dwelling with attached two-car garage. It has typical spaces such as kitchen, living, and dining area. There is one bedroom with one full bathroom at ground floor. The second floor has four bedrooms and two common bathrooms. The total existing Floor-Area-Ratio (FAR) is approximately 3,856 sf. The proposed Floor-Area-Ratio (FAR) is approximately 5,232 sf which is less than the maximum Floor-Area-Ratio (FAR) of 5,449 sf.

Existing exterior materials and finishes include cement stucco, wood sidings, vinyl windows, brick chimney with wood fence. The existing hip roof consists of shingle roofing assembly.

Some of the existing interior walls will be eliminated to optimize the use of natural light. The existing exterior finishes/materials have aged to a point that it makes sense to be replaced. The replacement exterior material of the facades will integrate with more sustainable cladding materials (*Trespa Pura* - composite sidings). Such sidings are UV resistive and thermally stable. It also does not require any maintenance.

Regarding the landscaping, no existing tree will be removed. As part of the new City ordinance, existing impervious driveway will be replaced with pervious surface. The majority of the landscape species at the front will be replaced with drought-tolerant plants to minimize the use of water for irrigation.

The building massing at the front remains the same with no increase of height as perceived from Springfield Drive. Three new dormers are added to the front so that the long horizontal roof form could be broken up for visual interest. The proposed design does consider the least impact approach to the neighborhood. For instance, owner decided not to modify the existing roof form of existing garage. Addition is proposed in a way that there will not be direct new window facing bedroom windows at abutting neighbors.

Mr. Kevin Lu and his family has become the owner of the subject property since 2015. They would like to obtain approval from the City Millbrae so that his family will relocate from South San Francisco to this property. While they understand it's a lengthy process to obtain approval from Planning and Building Department, they would like to go through this process right away. Both his two sons are looking for to applying high schools in few years in San Mateo Union High School District soon.

**WING LEE ARCHITECTS**

Thank you for your time reviewing this application. We are confident that the proposed application will enhance the entire neighborhood with sensitive design approach. We look forward to hearing from you soon.

Yours sincerely,



Wing Lee  
Architect of Record

cc.      Mr. Kevin Lu  
          Owner of property



# City of Millbrae

---

PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Wing Lee (Architect), (owner/owner's agent), have met with the party listed below regarding a Residential Design Review Submittal (type of permit(s)) for addition and renovation of a single family dwelling (project description) at 903 Springfield Drive (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

4/20/2020

Date

---

THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

---

(Adjacent property owner to complete the following)

I, Kiet Chung and Anna Lam, own the property located at 906 Springfield Drive, Millbrae, CA. On 03/29/20, the above proposal was shown to me and I received a copy of the plans.

I support the proposal as shown to me.

Signature

Date



I oppose the proposal as shown to me

3/29/20

Date

Kiet Chung and Anna Lam

ckiet45@yahoo.com

650-922-7090

Name

Email

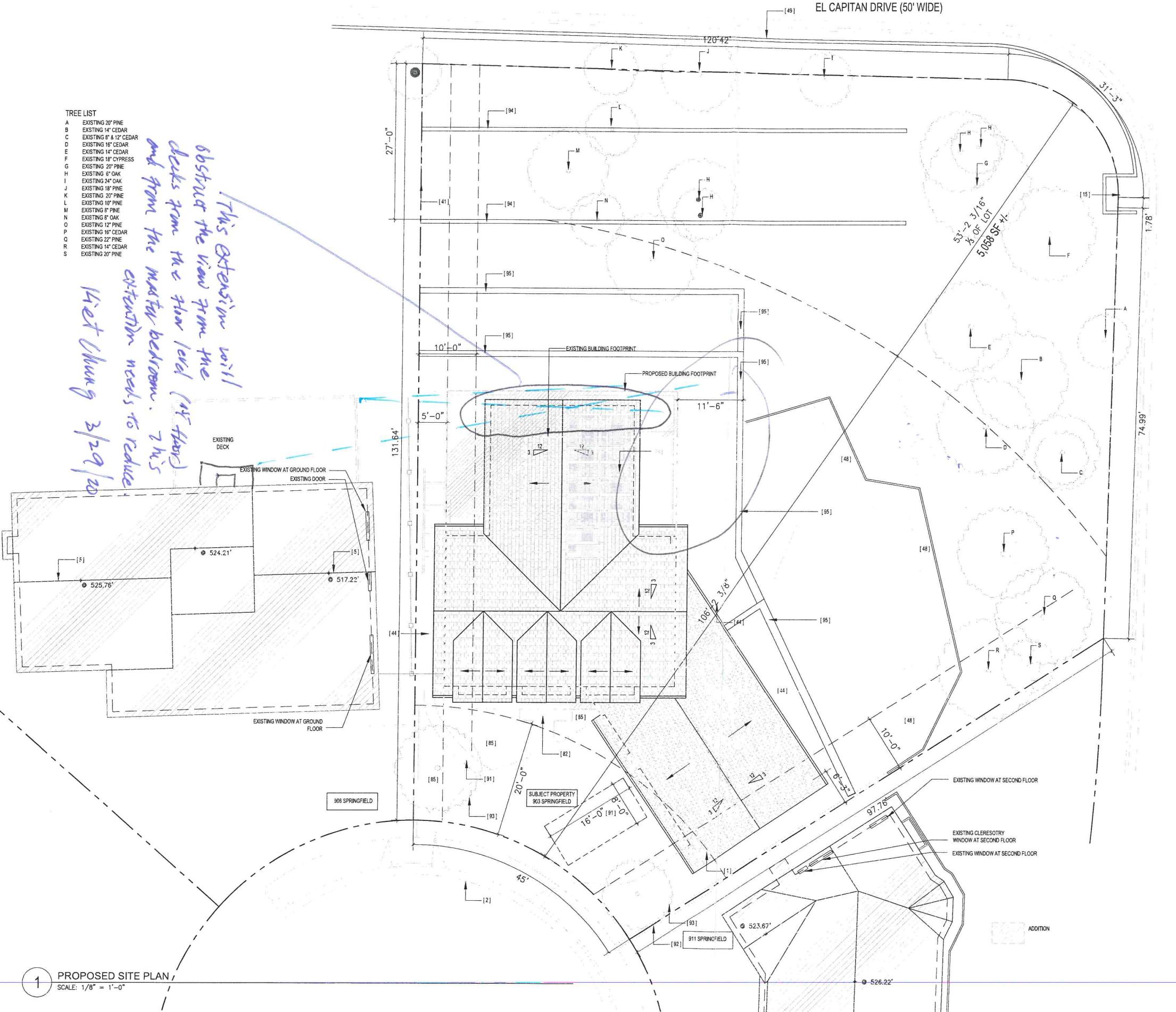
Contact Number

Comments (optional):

1) The building is too big. It will be caused the whole foundation and landslide problems.

2) Block any VIEWS will be UNACCEPTABLE, it will DEVALUE my property.

November 2017



TREE LIST

- A EXISTING '20' PINE
- B EXISTING '14' CEDAR
- C EXISTING '8' & '12' CEDAR
- D EXISTING '16' CEDAR
- E EXISTING '14' CEDAR
- F EXISTING '18' CYPRESS
- G EXISTING '20' PINE
- H EXISTING '6' OAK
- I EXISTING '24' OAK
- J EXISTING '18' PINE
- K EXISTING '20' PINE
- L EXISTING '10' PINE
- M EXISTING '8' PINE
- N EXISTING '6' OAK
- O EXISTING '12' PINE
- P EXISTING '16' CEDAR
- Q EXISTING '22' PINE
- R EXISTING '14' CEDAR
- S EXISTING '20' PINE

12' CEDAR  
CEDAR  
CEDAR  
PRESS  
PINE  
OAK  
PINE  
PINE  
PINE  
PINE  
AK  
PINE  
CEDAR  
PINE  
CEDAR  
PINE

This extension will  
obstruct the view from the  
decks from the floor level (4th floor)  
and from the master bedroom. This  
extension needs to be reduced.

EXISTING  
DECK

Hết chung 3/29/2019

111

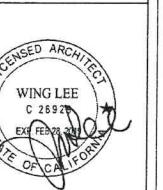
1

NG LEE ARCHITECTS  
ng Lee AIA, LEED AP BD+C  
1403 Hudson Avenue  
San Francisco CA 94124  
T 415.297.6493  
[www.learchitect.com](http://www.learchitect.com)

KEY NOTES

- [1] EXISTING GAS METER TO REMAIN
- [2] EXISTING CURB CUT TO REMAIN
- [3] EXISTING BRICK BORDER / PILASTER TO BE REMOVED
- [4] EXISTING CONCRETE DRIVEWAY TO BE REPLACED WITH PERMEABLE SURFACE
- [5] EXISTING GATE / DOOR AND FRAME TO BE REMOVED
- [6] EXISTING WALL TO BE REMOVED
- [7] EXISTING STAIRCASE AND RAILING TO BE REMOVED
- [8] EXISTING FURNACE AND WATER HEATER TO BE REPLACED
- [9] EXISTING WATER AND POWER SUPPLY FOR WASHER AND DRYER TO BE CAPPED AND RELOCATED
- [10] EXISTING BATHROOM TO BE REMOVED AND RELOCATED
- [11] EXISTING WINDOW / SKYLIGHT TO BE REMOVED
- [12] EXISTING CLOSET TO BE REMOVED
- [13] EXISTING KITCHEN / CABINETRY TO BE REMOVED AND RELOCATED
- [14] EXISTING WOOD FENCE TO BE REPLACED
- [15] EXISTING FIRE HYDRANT TO REMAIN
- [16] EXISTING STEPS / DECK TO BE REMOVED
- [17] EXISTING METAL ROOF AND SUPPORT TO BE REMOVED
- [18] EXISTING ROOF TO BE MODIFIED
- [19] EXISTING FIREPLACE TO BE DECOMMISSIONED BUT REMAIN
- [20] EXISTING GRADE TO BE MODIFIED
- [21] EXISTING WOOD POSTS TO BE REMOVED
- [22] EXISTING ADDRESS NUMBERS TO BE REPLACED, RELOCATED
- [23] EXISTING MAIL SLOT TO BE RELOCATED AND REPLACED
- [24] EXISTING DOWNSPOUT TO BE REPLACED
- [25] EXISTING STUCCO FINISH TO BE REMOVED
- [26] EXISTING TREE TO REMAIN, TYP.
- [27] EXISTING SHINGLE ROOF TO BE REPLACED
- [28] EXISTING METAL GUTTER TO BE REPLACED
- [29] EXISTING STUCCO TO BE REPLACED WITH SIDING
- [30] EXISTING BRICK WALL / PILASTER TO BE REMOVED
- [31] EXISTING WALL / COLUMN TO REMAIN
- [32] EXISTING STUCCO / PLASTERERS TO BE REMOVED
- [33] EXISTING 2X ROOF RAFTERS TO BE REMOVED
- [34] EXISTING 2X ROOF TO BE STRENGTHENED WITH NEW INSULATION
- [35] EXISTING BRICK FINISH TO BE CLEANED AND RE-PAINTED
- [36] EXISTING VENTS FOR CRAMPSPACE TO REMAIN
- [37] EXISTING LANDSCAPE TO BE REMOVED
- [38] EXISTING LANDSCAPE TO BE ENHANCED
- [39] 10' FT UTILITY SETBACK
- [40] 20' FT REAR SETBACK
- [41] PROPERTY LINE
- [42] EXISTING STUCCO FINISH TO BE RE-FINISHED
- [43] EXISTING SIDING TO BE REPLACED
- [44] EXISTING CONCRETE PATIO / PATH
- [45] EXISTING 6'x6' WOOD FENCE WALL TO BE REMOVED
- [46] EXISTING WOOD WALL TO BE REPLACED
- [47] EXISTING DECK TO BE REMOVED
- [48] EXISTING PLANTER AREA
- [49] EXISTING CONCRETE WALL TO REMAIN

[50] NEW ANODIZED ALUMINUM WINDOW AND DOOR  
[51] NEW WALL MOUNTED DOWNLIGHT  
[52] NEW ADDRESS NUMBER  
[53] GLAZING INSERT  
[54] NEW GARAGE DOOR  
[55] NEW WOOD DECK ON PT WOOD AND CONCRETE PIERS.  
[56] NEW ROOF WITH INSULATION AND MATCHING ROOF SHINGLES  
[57] NEW 1-HOUR RATED RAFTERS  
[58] NEW 1-HOUR RATED WALL ASSEMBLY  
[59] NEW TEMPERED GLASS RAILING WITH STAINLESS FASTENERS  
[60] NEW WATER HEATER  
[61] NEW LOUVER FOR GARAGE (200 IN<sup>2</sup> NET AREA)  
[62] NEW FURNACE  
[63] NEW FIBERGLASS INSULATION, TYPE  
[64] NEW 20 MIN. DOOR WITH SELF-CLOSER  
[65] NEW ENTRY DOOR, FINISH TO MATCH GARAGE DOOR  
[66] NEW COMPOSITE WOOD-LIKE SIDING  
[67] NEW 6'FT COMPOSITE WOOD-LIKE SIDING / FENCE  
[68] NEW PAINT FOR EXISTING FIREPLACE  
[69] NEW STAINLESS STEEL MAIL SLOT  
[70] NEW HOSE RIB  
[71] NEW PERMEABLE DRIVEWAY  
[72] NEW PULL-OUT FAUCET  
[73] NEW FLOOR DRAIN  
[74] NEW HARDWIRED SKYLIGHT WITH SHADES ABOVE WITH CURB  
[75] NEW 3-COAT, SMOOTH STUCCO FINISH  
[76] NEW CONCRETE WALKWAY  
[77] NEW METAL DOWNSPOUT, PAINTED  
[78] NEW STAINLESS STEEL ADDRESS  
[79] NEW WOOD-LIKE ENTRY DOOR  
[80] NEW ACCENT CERAMIC TILE  
[81] NEW ROOF WITH 1/2" PER 12" MIN. SLOPE  
[82] NEW CANOPY WITH CLADDE WITH WOOD-LIKE SIDING  
[83] NEW 1-HOUR RATED ROOF ASSEMBLY  
[84] NEW SYNTHETIC GRASS  
[85] NEW DISEASE TOLERANT SHRUBS AND GROUND COVER  
[86] NEW CEDAR SIDING PLANK TO BE STAINED  
[87] NEW PV PANEL  
[88] PROVIDE NEW WIFI AND CATS CABLE FOR ENTIRE HOUSE  
[89] DIGITAL DOORBELL TO BE CONNECTED TO SECURITY SYSTEM  
[90] NEW PERMEABLE CONCRETE  
[92] EXISTING BRICK WALL REMAINS  
[93] NEW 15-GALLON TREE "ACACIA STENOPHYLLA"  
[94] NEW 6'FT CONCRETE RETAINING WALL  
[95] NEW CONCRETE RETAINING WALL PER STRUCTURAL DRAWINGS



DRAWING TITLE  
SITE PLAN  
PROPOSED

## A2.1



# City of Millbrae

## PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Wing Lee (Architect), (owner/owner's agent), have met with the party listed below regarding a Residential Design Review Submittal (type of permit(s)) for addition and renovation of a single-family dwelling (project description) at 903 Springfield Drive (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

4/20/2020

Date

**THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT**

(Adjacent property owner to complete the following)

I, Jeanette Rudden, own the property located at 911 SPRINGFIELD DR. On 4/28/20, the above proposal was shown to me and I received a copy of the plans.

I support the proposal as shown to me.

Signature

Date

I oppose the proposal as shown to me

Jeanette L. Rudden 4/28/20

Signature

Date

Jeanette Rudden  
Name

1711M49@gmail.com  
Email

650 697-2200  
Contact Number

Comments (optional):

THIS IS A RESIDENTIAL NEIGHBORHOOD, NOT AN APARTMENT FILLED STREET! THIS PROPOSAL IS FOR A RENTAL PROPERTY, NOT A SINGLE FAMILY DWELLING. IF THE OWNER WANTS A RENTAL, GO BUY AN APARTMENT BUILDING. THERE IS NO ROOM

November 2017

**From:** [Planning Commission Meetings](#)  
**To:** [Jeanette Rudden](#)  
**Cc:** [Sam Fielding](#); [Roscoe Mata](#)  
**Subject:** RE: 903 Springfield Dr  
**Date:** Tuesday, July 14, 2020 10:48:41 AM

---

Your comments have been received and forwarded to the Planner, they will be read at the Planning commission Meeting on Monday, July 20, 2020 which you can view at MCTV.com

Thank you and Regards,

Bernadette Kunz  
Administrative Assistant  
Community Development Depart.  
City of Millbrae  
621 Magnolia Ave, Millbrae, CA 94030  
650-259-2342  
Email: [bkunz@ci.millbrae.ca.us](mailto:bkunz@ci.millbrae.ca.us)

This e-mail message and/or its attachments may contain information that is confidential or restricted. It is intended only for the individuals named as recipients in the message. If you are NOT an authorized recipient, you are prohibited from using, delivering, distributing, printing, copying, or disclosing the message or content to others and must delete the message from your computer. If you have received this message in error, please notify the sender by return e-mail.

-----Original Message-----

From: Jeanette Rudden [<mailto:italian49@gmail.com>]  
Sent: Monday, July 13, 2020 3:14 PM  
To: Planning Commission Meetings <[P@ci.millbrae.ca.us](mailto:P@ci.millbrae.ca.us)>  
Subject: 903 Springfield Dr

To whom it may concern

This plan to build onto an existing house is absurd.

This is a single residence dwelling that is being turned into an apartment complex. If they wanted to own an apartment complex they should have shopped elsewhere.

Parking is limited as is and is unfair to the residents of this neighborhood. I really can't believe the planning commission is even considering this project. We at 911 Springfield Dr and 919 Springfield Dr are totally AGAINST this addition, as it will cheapen our neighborhood. The owners of 903 Springfield Dr are leading all parties involved that they are moving "their" family in. This is not the scenario, as they will be renting out rooms to a number of people as they previously did before. There were at least 6 to 7 vehicles parked in the driveway and street at any given time.

Thank you

Jeanette Rudden (919 Springfield Dr)  
Robert Rudden (911 Springfield Dr.)

Sent from my iPhone

**From:** [Planning Commission Meetings](#)  
**To:** [Kiet Chung: Planning Commission Meetings](#)  
**Cc:** [Sam Fielding: Roscoe Mata](#)  
**Subject:** RE: 903 Springfield Residential Design Review  
**Date:** Tuesday, July 14, 2020 10:50:56 AM

---

Note that I've received this email comment 2x, but will be read 1x (one time).

Your comments have been received and forwarded to the Planner, they will be read at the Planning commission Meeting on Monday, July 20, 2020 which you can view on MCTV.com or Millbrae community Channel 27

Thank you and Regards,

Bernadette Kunz  
Administrative Assistant  
Community Development Depart.  
City of Millbrae  
621 Magnolia Ave, Millbrae, CA 94030  
650-259-2342  
Email: [bkunz@ci.millbrae.ca.us](mailto:bkunz@ci.millbrae.ca.us)

This e-mail message and/or its attachments may contain information that is confidential or restricted. It is intended only for the individuals named as recipients in the message. If you are NOT an authorized recipient, you are prohibited from using, delivering, distributing, printing, copying, or disclosing the message or content to others and must delete the message from your computer. If you have received this message in error, please notify the sender by return e-mail.

-----Original Message-----

From: Kiet Chung [<mailto:ckiet45@yahoo.com>]  
Sent: Monday, July 13, 2020 7:13 PM  
To: Planning Commission Meetings <[P@ci.millbrae.ca.us](mailto:P@ci.millbrae.ca.us)>  
Subject: 903 Springfield Residential Design Review

I am forwarding a message for Bob Sand of 922 Springfield drive regarding the 903 Springfield project.

My wife and I are 100 percent against this development Let's be realistic.... it is NOT going to be a single family home It currently has 5 bedrooms, one kitchen and one entrance How many bedrooms does one need AND a second entrance far from the existing one and additional kitchen We are totally against this plan Additionally there is no parking now does anyone in the city care about the consequences of such a plan or are they merely thinking of increased revenue?

Would u be in favor if this in your neighborhood?

Think about it!

Why didn't the city have a neighborhood meeting to allow us to question the city?

I offered our home but received no reply.

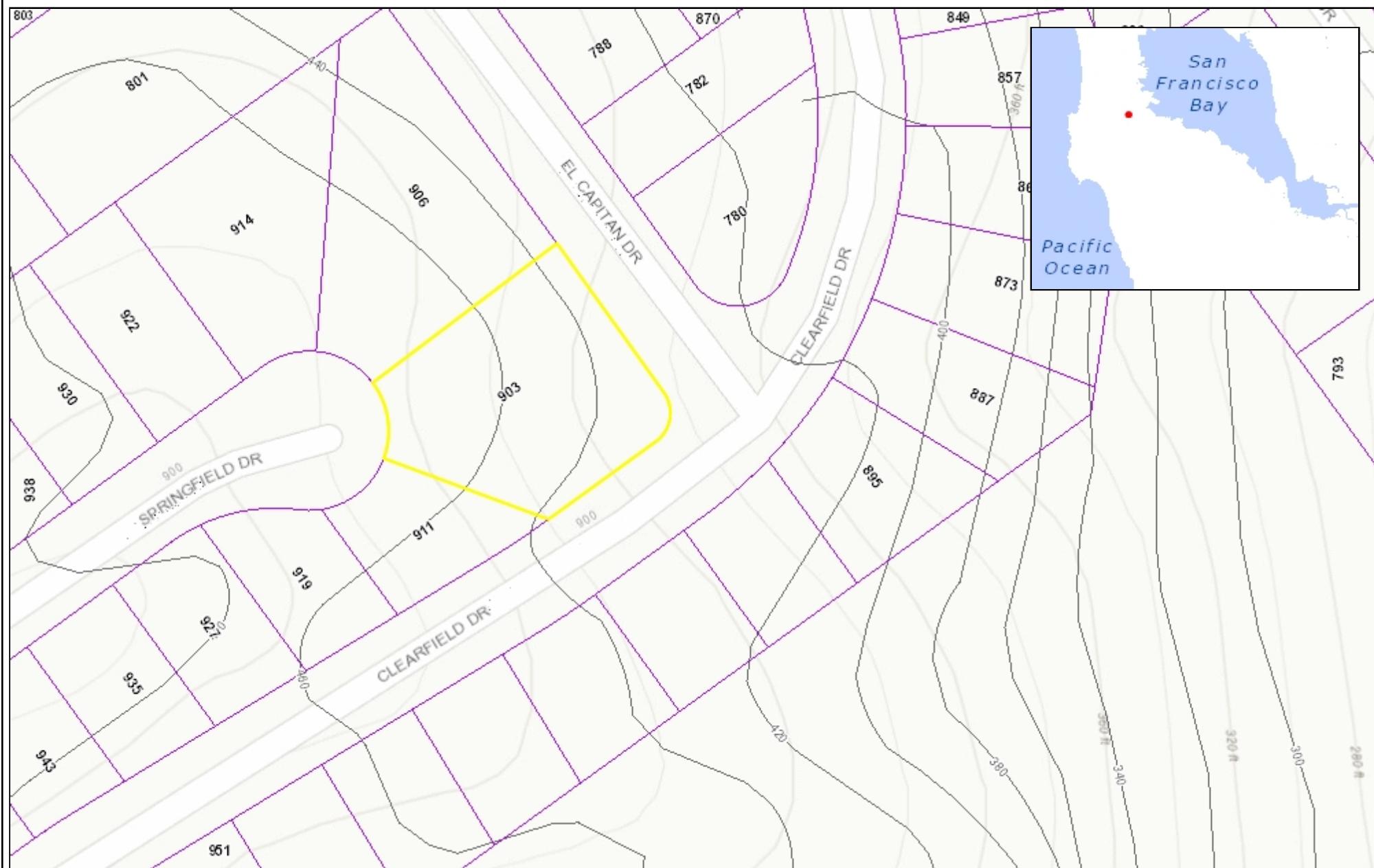
Robert Sand  
922 Springfield dr  
Millbrae ca

Sent from my iPhone



# San Mateo County

San Mateo map



0.04

0

0.02 0.04 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1: 1,128



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

# KEY MAP



## 903 SPRINGFIELD DRIVE - CONTEXT PHOTOS

December 21, 2018

WING LEE ARCHITECTS

## VIEW - 1



VIEW FROM CLEARFIELD DRIVE TO SUBJECT PROPERTY



## VIEW - 2

VIEW TO NORTH FACADE OF SUBJECT PROPERTY

## VIEW - 3



VIEW FROM EL CAPITAN DRIVE TO SUBJECT PROPERTY

---

903 SPRINGFIELD DRIVE - CONTEXT PHOTOS

December 21, 2018

WING LEE ARCHITECTS

## VIEW - 4



VIEW OF SUBJECT PROPERTY FRONT FAÇADE

## VIEW - 6



VIEW OF NEIGHBOR HOUSE AT 914 SPRINGFIELD DRIVE

## VIEW - 5



VIEW OF IMMEDIATE NEIGHBOR NORTH OF SUBJECT PROPERTY

## VIEW - 7



VIEW OF SOUTH FAÇADE OF SUBJECT PROPERTY

903 SPRINGFIELD DRIVE - CONTEXT PHOTOS

December 21, 2018

WING LEE ARCHITECTS

## VIEW - 8



VIEW OF IMMEDIATE NEIGHBOR HOUSE AT 911 SPRINGFIELD

## VIEW - 9



VIEW OF NEIGHBOR HOUSE AT 919 SPRINGFIELD

## VIEW - 10



VIEW OF NEIGHBOR HOUSE AT 922 SPRINGFIELD

## VIEW - 11



VIEW OF NORTHEAST CORNER OF THE SUBJECT PROPERTY

# 903 SPRINGFIELD DRIVE - CONTEXT PHOTOS

December 21, 2018

WING LEE ARCHITECTS

## VIEW - 12



VIEW OF NEIGHBOR HOUSE AT 895 CLEARFIELD DRIVE

## VIEW - 14



VIEW OF NEIGHBOR HOUSE AT 780 EL CAPITAN DRIVE

## VIEW - 13



VIEW OF NEIGHBOR HOUSE AT 903 CLEARFIELD

## VIEW - 14



VIEW OF NEIGHBOR HOUSE AT 911 CLEARFIELD

## 903 SPRINGFIELD DRIVE - CONTEXT PHOTOS

December 21, 2018

WING LEE ARCHITECTS



**LEGEND**

- SUBJECT PROPERTY LINE
- ADJOINER PROPERTY LINE
- CENTERLINE
- WOOD FENCE
- BUILDING LINE
- FOUND MONUMENT PER R1
- BUILDING CORNER
- CONCRETE
- BSW BACK OF SIDEWALK
- DRAIN INLET
- DRIVEWAY
- EDGE OF CONCRETE
- ELEVATION
- EM ELECTRIC METER
- FL FLOOR
- FF FINISH FLOOR
- FH FIRE HYDRANT
- GM GAS METER
- SC SEWER CLEANOUT
- TBC TOP BACK CURB
- TBW TOP BACK WALL
- TEB TOE OF BANK
- TEW TOE OF WALL
- TPB TOP OF BANK
- TEL TELEPHONE/CABLE
- WDF WOOD FENCE
- WM WATER METER
- + ELEVATION
- EC DESCRIPTION

**BASIS OF BEARINGS:**  
THE BASIS OF BEARINGS FOR THIS SURVEY IS N53°45'00"E  
BETWEEN FOUND STANDARD WELL MONUMENTS PER R1,  
FILED IN THE OFFICE OF THE SAN MATEO COUNTY RECORDER.

**GENERAL NOTES:**  
1) REFERENCED MAPS PER SAN MATEO COUNTY RECORDER.  
2) DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.  
3) ELEVATIONS SHOWN ON ASSUMED LOCAL DATUM.

**REFERENCES**  
R1. "SILVA RANCH, SUBDIVISION NO. 2B" FILED 5/22/1964,  
IN BOOK 60, MAPS PAGES 19-20. (60 M 19)

**UTILITY NOTE:**  
UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM A COMBINATION  
OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND  
RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY  
COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL  
LOCATIONS. THUS, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO  
SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR  
CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY  
IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF  
SAID UTILITIES.

**AREAS:**  
TOTAL LOT AREA: 15,423 SQ. FT.  
AREA LESS THAN 30% SLOPE: 9908 SQ. FT.

**NOTE:**  
THIS PLAT HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF  
THE PROPERTY OWNER(S) SHOWN HEREON, USE OR RELIANCE OF  
THIS PLAT BY ANY PARTY OTHER THAN THE OWNER(S) OR  
OWNERS' AGENT IS FORBIDDEN WITHOUT WRITTEN PERMISSION  
FROM AMERICAN LAND SURVEYING, INC.

### SPRINGFIELD DRIVE (50' WIDE)

N53°45'00"E  
BASIS OF BEARINGS  
525.98' (526.00' R1)

BENCHMARK  
EL: 499.82

CHUNG & LAM  
AP:021-461-110  
LOT 24  
60 M 19

A(S<30%)=6934 S.F.

W

FENCE

W

WOOD

W

DECK

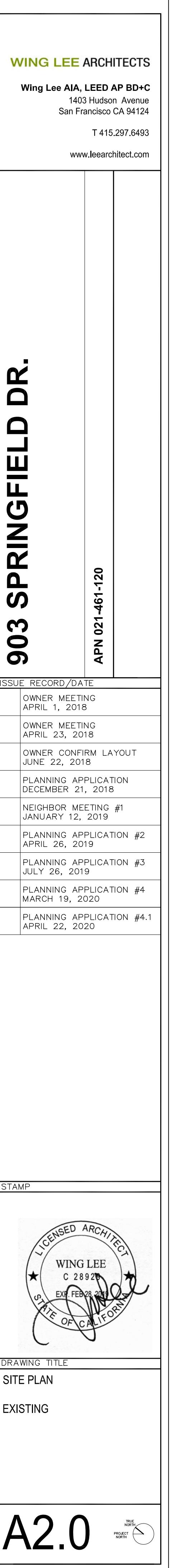
W

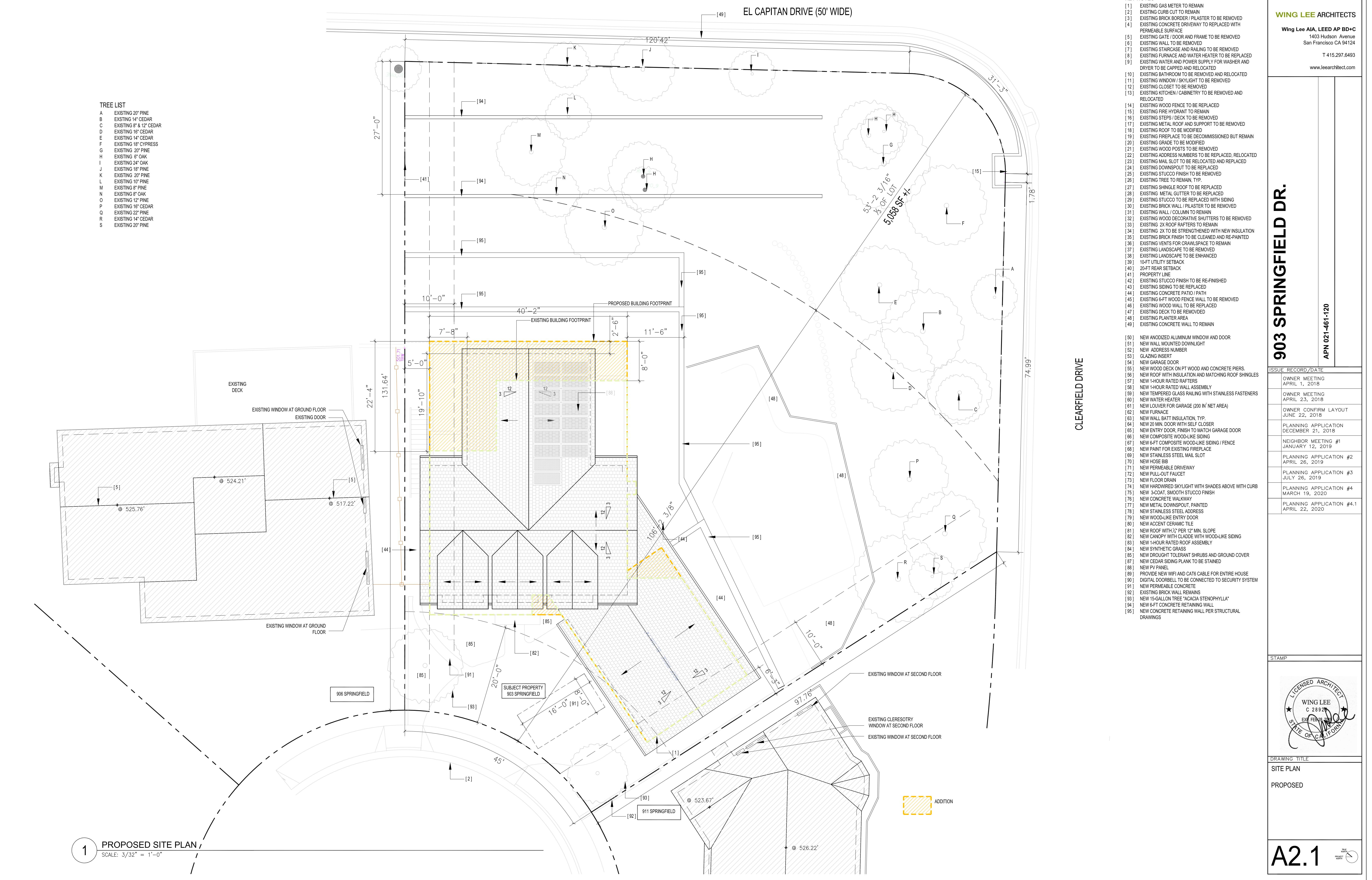
DECK

W

WALL

&lt;p



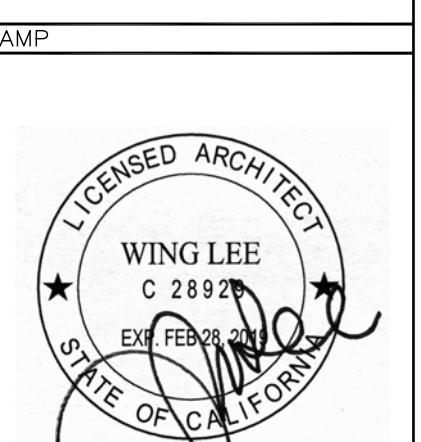


## 903 SPRINGFIELD DR.

APN 021-461-120

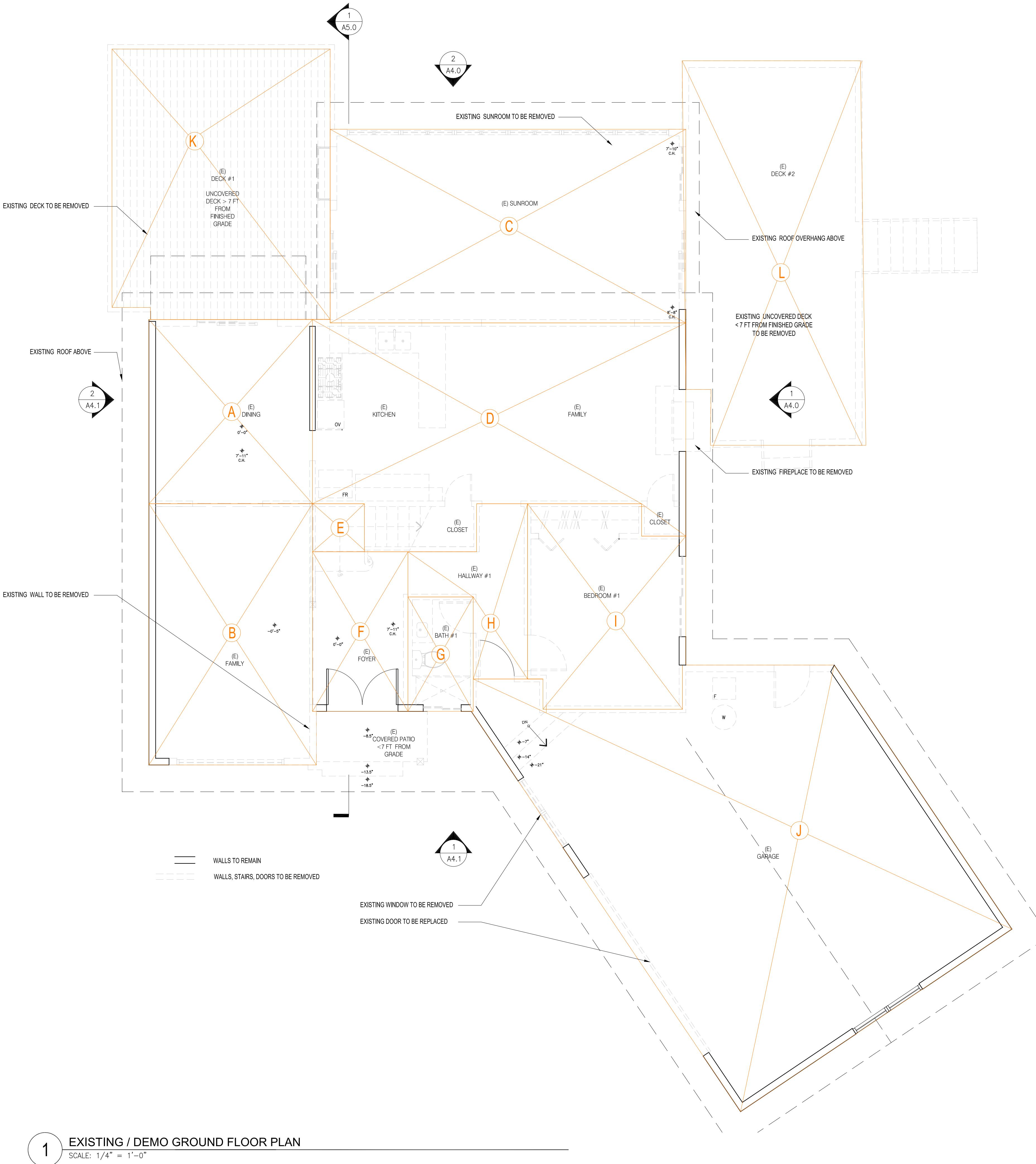
ISSUE / RECORD / DATE
OWNER MEETING APRIL 1, 2018
OWNER MEETING APRIL 23, 2018
OWNER CONFIRM LAYOUT JUNE 22, 2018
PLANNING APPLICATION DECEMBER 21, 2018
NEIGHBOR MEETING #1 JANUARY 12, 2019
PLANNING APPLICATION #2 APRIL 26, 2019
PLANNING APPLICATION #3 JULY 26, 2019
PLANNING APPLICATION #4 MARCH 19, 2020
PLANNING APPLICATION #4.1 APRIL 22, 2020

A	DINING	168
B	FAMILY	239
C	SUNROOM	384
D	KITCHEN/FAMILY	415
E	STAIRWAY LANDING	28
F	FOYER	85
G	BATH #1	42
H	HALLWAY #1	69
I	BEDROOM #1	170
J	GARAGE	736
K	DECK #1 (> 7' FROM GRADE)	326
L	DECK #2 (< 7' FROM GRADE)	0
TOTAL GROUND FLOOR		2662



STAMP  
DRAWING TITLE  
PLANS  
EXISTING / DEMO GROUND FLOOR

A3.01

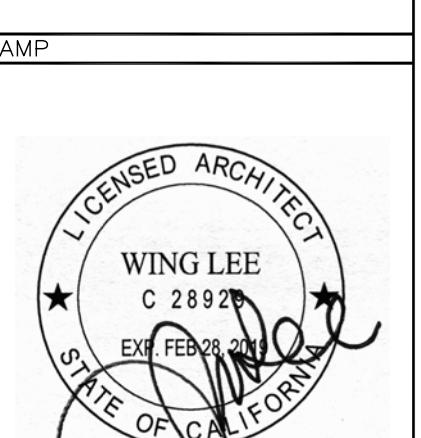


903 SPRINGFIELD DR.

APN 021-461-120

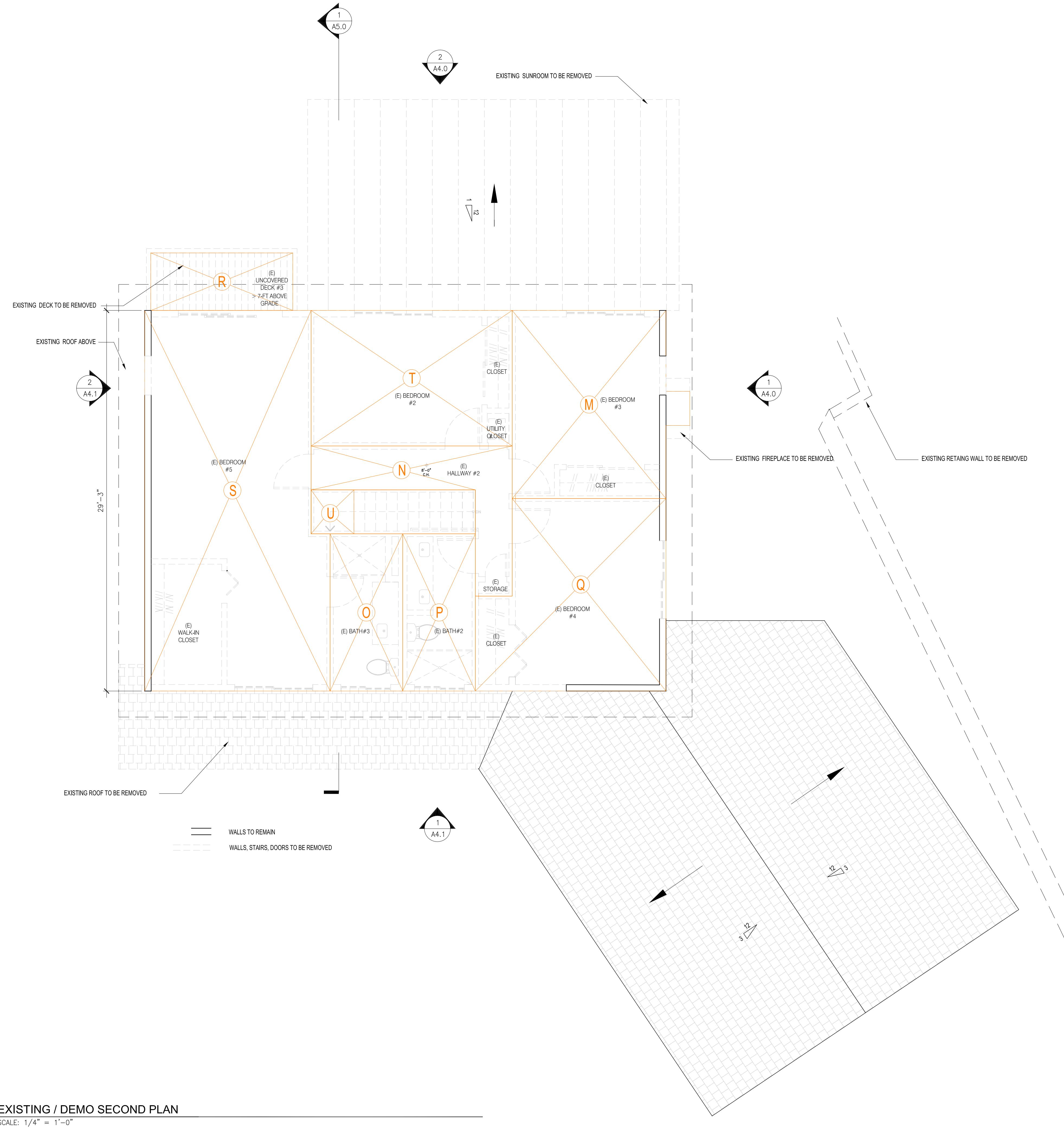
ISSUE / RECORD / DATE	
OWNER MEETING	APRIL 1, 2018
OWNER MEETING	APRIL 23, 2018
OWNER CONFIRM LAYOUT	JUNE 22, 2018
PLANNING APPLICATION	DECEMBER 21, 2018
NEIGHBOR MEETING #1	JANUARY 12, 2019
PLANNING APPLICATION #2	APRIL 26, 2019
PLANNING APPLICATION #3	JULY 26, 2019
PLANNING APPLICATION #4	MARCH 19, 2020
PLANNING APPLICATION #4.1	APRIL 22, 2020

M	BEDROOM #3	176
N	HALLWAY #2	75
O	BATH #3	67.5
P	BATH #2	67.5
Q	BEDROOM #4	196
R	DECK #3 (> 7' FROM GRADE)	48
S	BEDROOM #5	392
T	BEDROOM #2	161
U	STAIRWAY LANDING	11
TOTAL SECOND FLOOR		1194



DRAWING TITLE  
 PLANS  
 EXISTING / DEMO  
 SECOND FLOOR

A3.02



903 SPRINGFIELD DR.

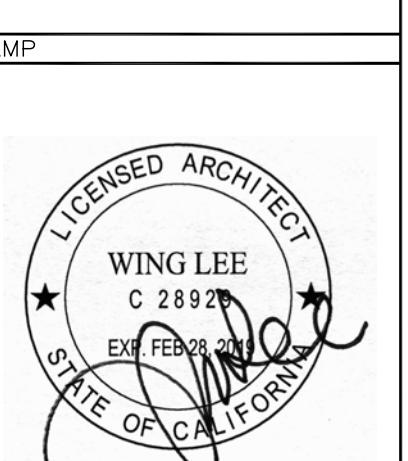
APN 021-461-120

ISSUE/RECORD/DATE	
OWNER MEETING	APRIL 1, 2018
OWNER MEETING	JUNE 23, 2018
OWNER CONFIRM LAYOUT	JUNE 22, 2018
PLANNING APPLICATION	DECEMBER 21, 2018
NEIGHBOR MEETING #1	JANUARY 12, 2019
PLANNING APPLICATION #2	APRIL 26, 2019
PLANNING APPLICATION #3	JULY 26, 2019
PLANNING APPLICATION #4	MARCH 19, 2020
PLANNING APPLICATION #4.1	APRIL 22, 2020

A	LIVING	140
B	BEDROOM #6	143
C	BEDROOM #5	296
D	KITCHEN	155
E	LAUNDRY	9
G	DINING	140
F	HALLWAY #1, STORAGE	56
I	DECK #4 (< 7' FROM GRADE)	0
J	DECK #5 (< 7' FROM GRADE)	0
BB	BATH #7	69
TOTAL BASEMENT (ADU)		1008



1 PROPOSED BASEMENT



DRAWING TITLE  
 PLANS  
 PROPOSED BASEMENT

A3.1

# 903 SPRINGFIELD DR.

**WING LEE ARCHITECTS**  
**Wing Lee AIA, LEED AP BD+C**  
1403 Hudson Avenue  
San Francisco CA 94124  
T 415.297.6493  
[www.leearchitect.com](http://www.leearchitect.com)

ABN 021-161-120

K	TV/ENTERTAINMENT	184
L	FAMILY/DINING	367
M	KITCHEN	288
N	STAIR LANDING	50
O	BATH #2	55
P	DEN/GUEST ROOM	138
Q	HALLWAY #2	103
R	FOYER	156
S	HALLWAY #3	138
T	BEDROOM #1	223
U	POWDER ROOM #1	29
FF	COVERED DECK #1 >7' FROM GRADE	123
GG	DECK #2 < 7' FROM GRADE)	0
V	GARAGE	757
<b>TOTAL GROUND FLOOR</b>		<b>2611</b>



## 1 PROPOSED GROUND FLOOR

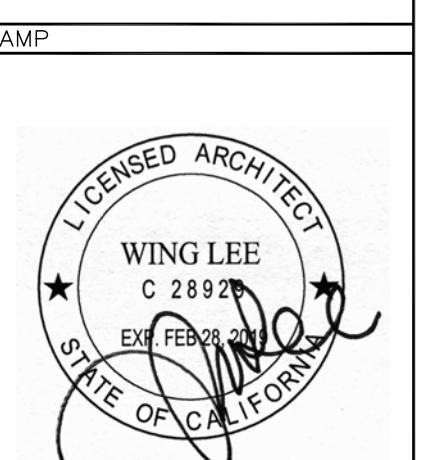
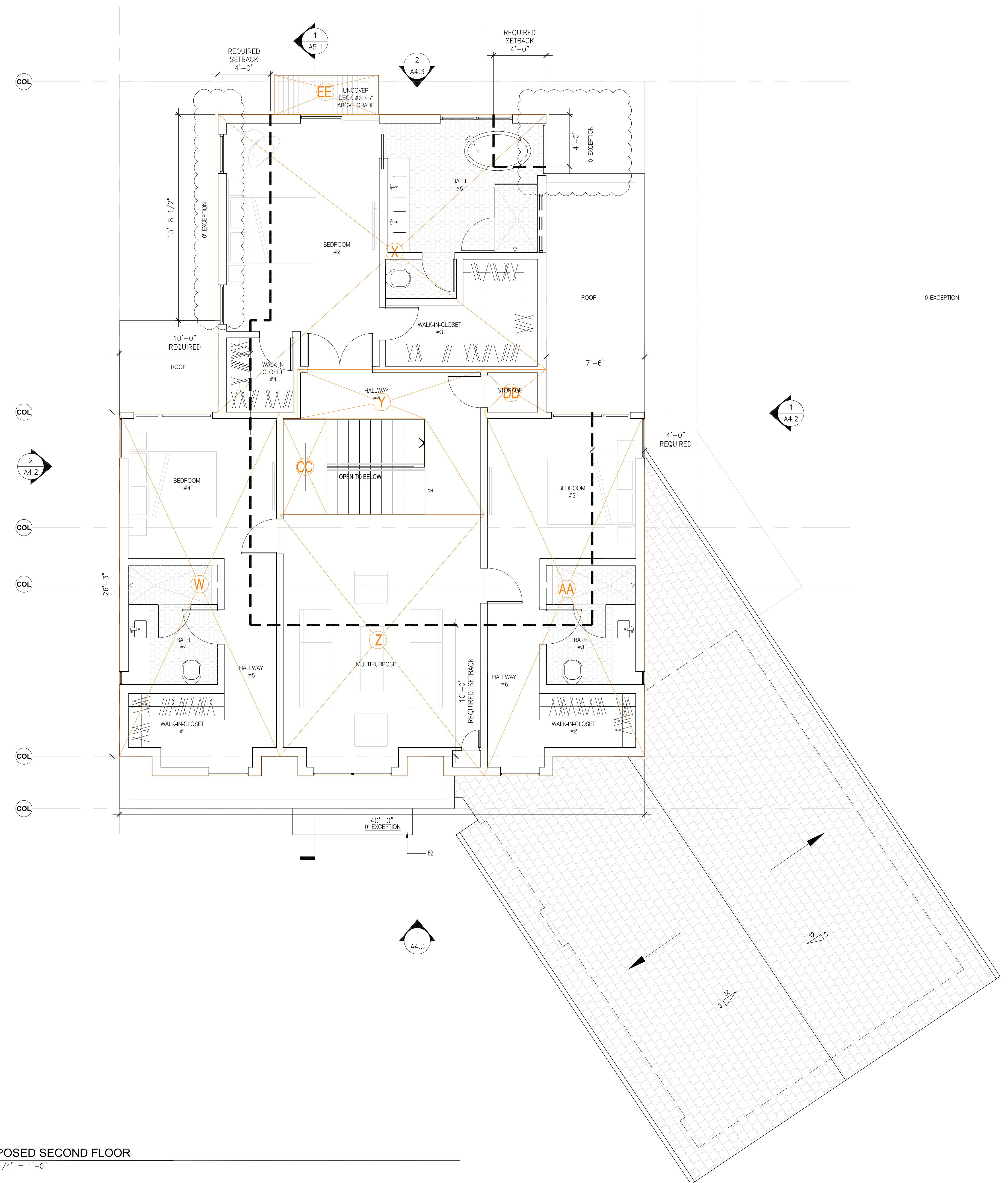
1      }      SCALE: 1/4" = 1'-0"

## A3.2

## 903 SPRINGFIELD DR.

APN 021-461-120

ISSUE/RECORD/DATE	
OWNER MEETING	APRIL 1, 2018
OWNER MEETING	APRIL 23, 2018
OWNER CONFIRM LAYOUT	JUNE 22, 2018
PLANNING APPLICATION	DECEMBER 21, 2018
NEIGHBOR MEETING #1	JANUARY 12, 2019
PLANNING APPLICATION #2	APRIL 26, 2019
PLANNING APPLICATION #3	JULY 26, 2019
PLANNING APPLICATION #4	MARCH 19, 2020
PLANNING APPLICATION #4.1	APRIL 22, 2020

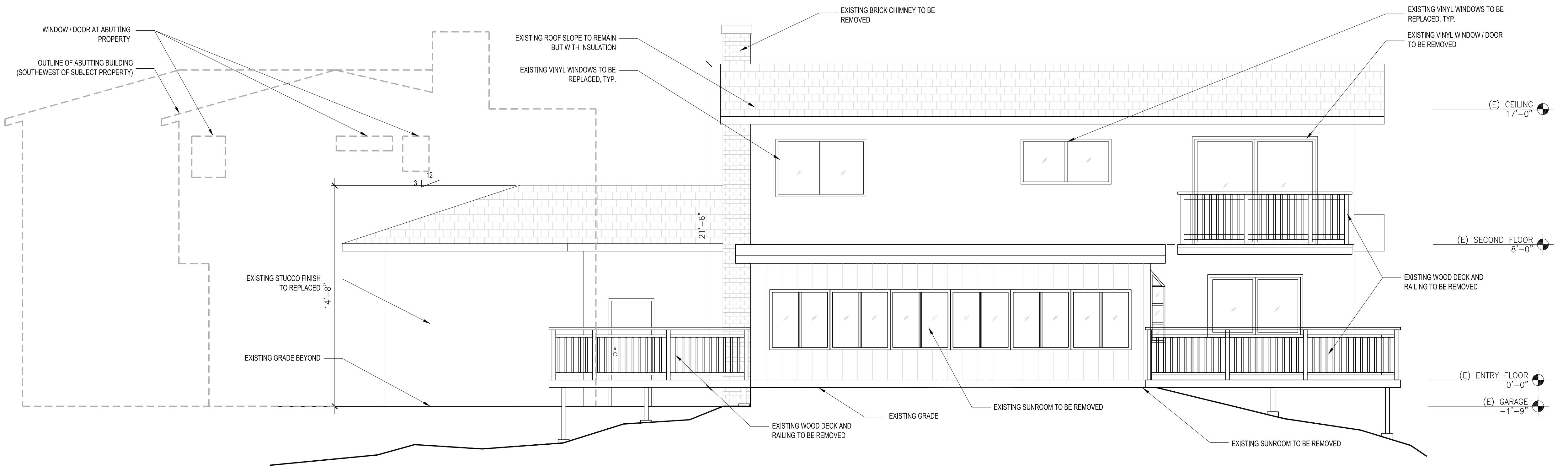

 DRAWING TITLE  
 PLANS  
 PROPOSED SECOND FLOOR


A3.3

903 SPRINGFIELD DR.

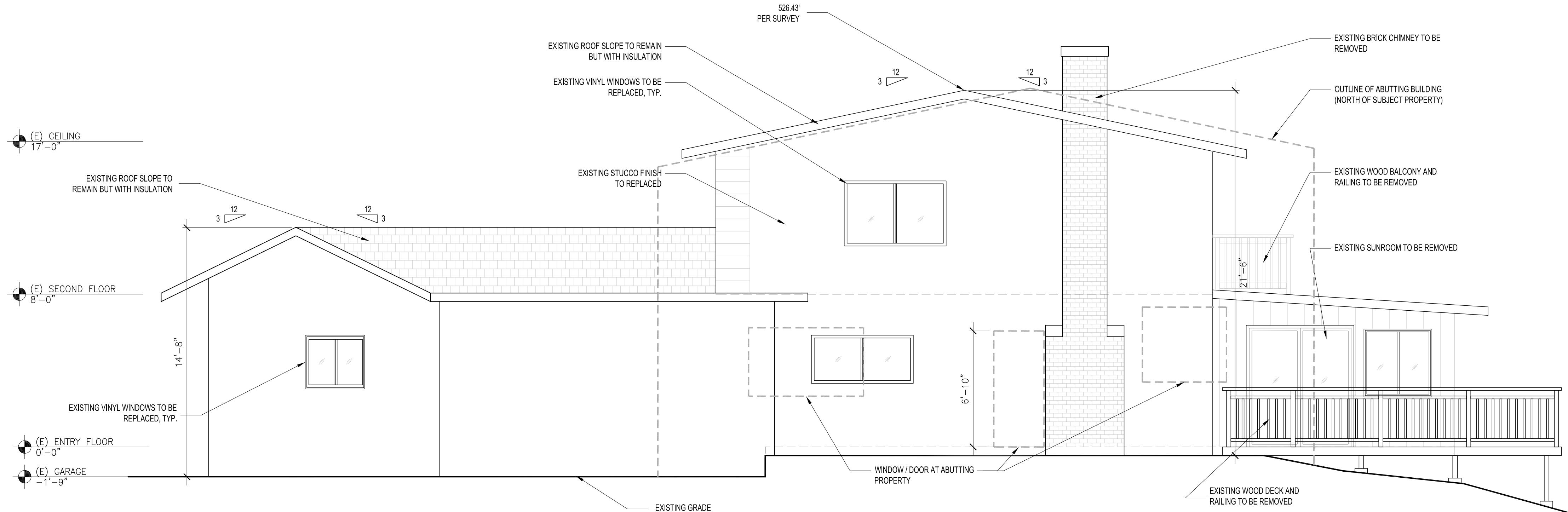
APN 021-461-120

ISSUE / RECORD / DATE
OWNER MEETING APRIL 1, 2018
OWNER MEETING APRIL 23, 2018
OWNER CONFIRM LAYOUT JUNE 22, 2018
PLANNING APPLICATION DECEMBER 21, 2018
NEIGHBOR MEETING #1 JANUARY 12, 2019
PLANNING APPLICATION #2 APRIL 26, 2019
PLANNING APPLICATION #3 JULY 26, 2019
PLANNING APPLICATION #4 MARCH 19, 2020
PLANNING APPLICATION #4.1 APRIL 22, 2020



2 EXISTING / DEMO EAST ELEVATION

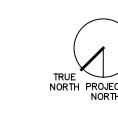
SCALE: 1/4" = 1'-0"



1 EXISTING / DEMO SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

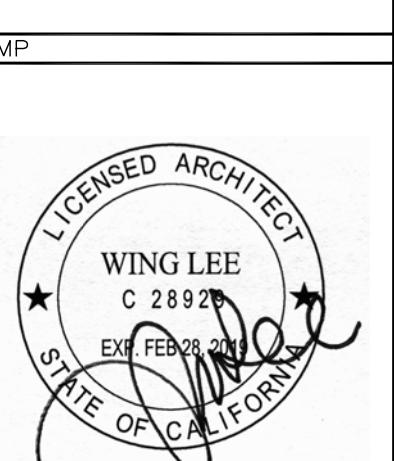
A4.0



## 903 SPRINGFIELD DR.

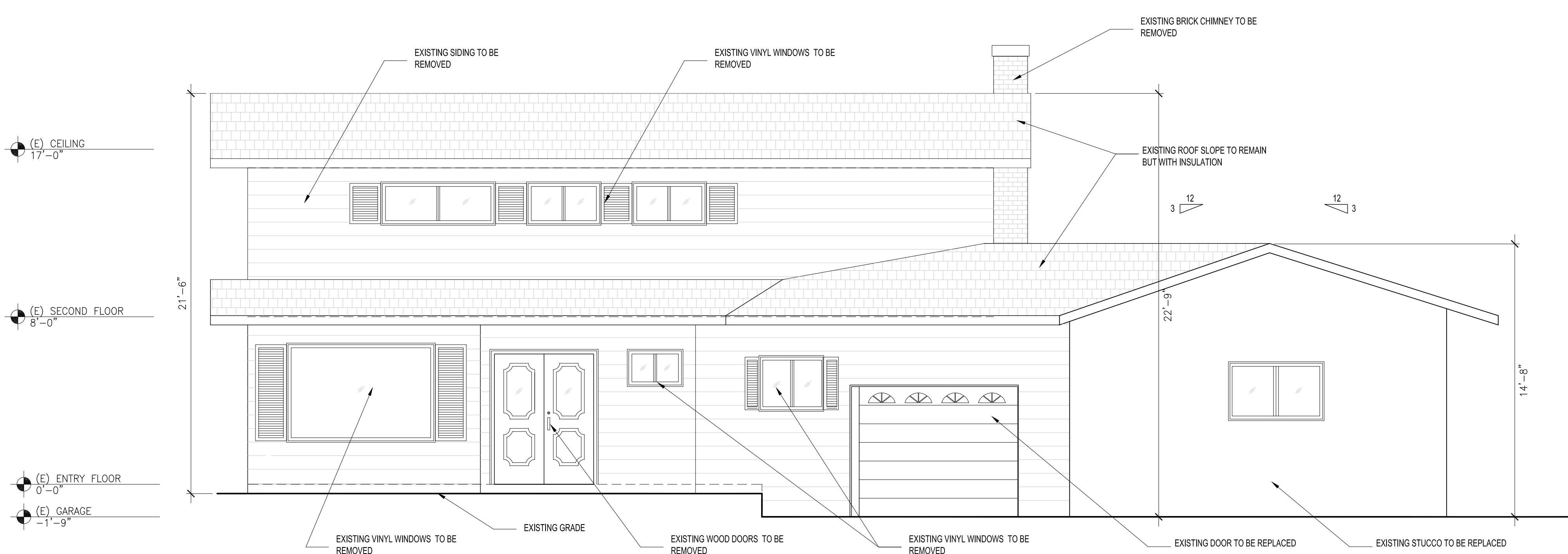
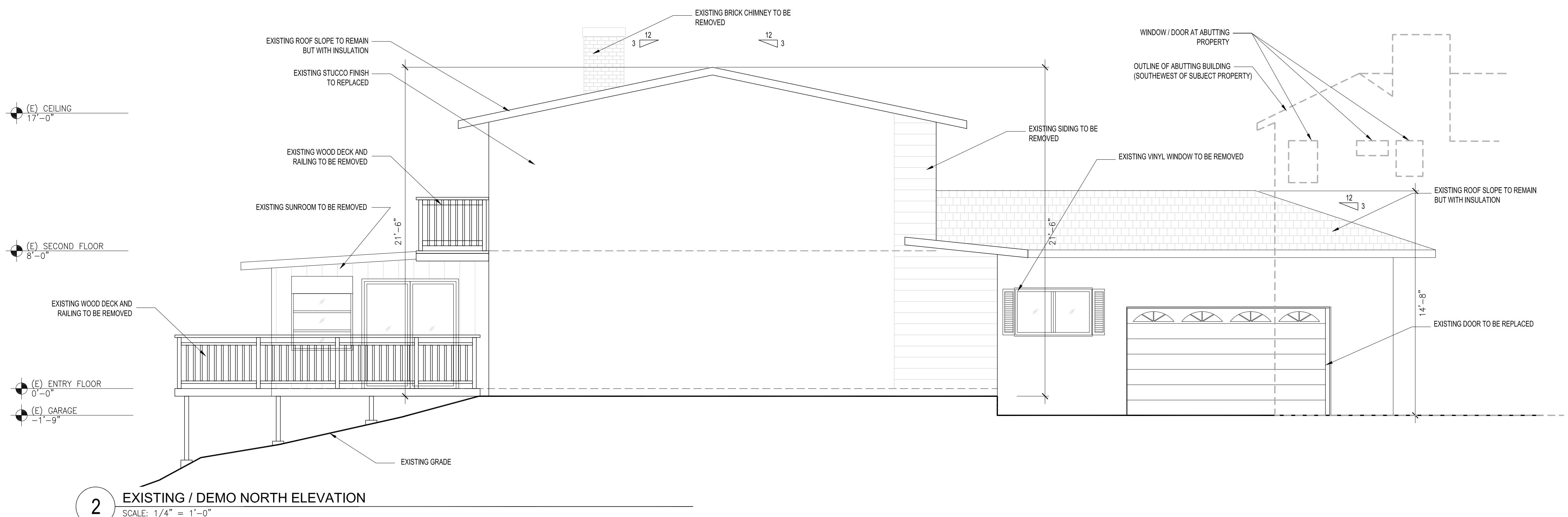
APN 021-461-120

ISSUE/RECORD/DATE
OWNER MEETING APRIL 1, 2018
OWNER MEETING APRIL 23, 2018
OWNER CONFIRM LAYOUT JUNE 22, 2018
PLANNING APPLICATION DECEMBER 21, 2018
NEIGHBOR MEETING #1 JANUARY 12, 2019
PLANNING APPLICATION #2 APRIL 26, 2019
PLANNING APPLICATION #3 JULY 26, 2019
PLANNING APPLICATION #4 MARCH 19, 2020
PLANNING APPLICATION #4.1 APRIL 22, 2020



STAMP  
 DRAWING TITLE  
 ELEVATIONS  
 EXISTING / DEMO

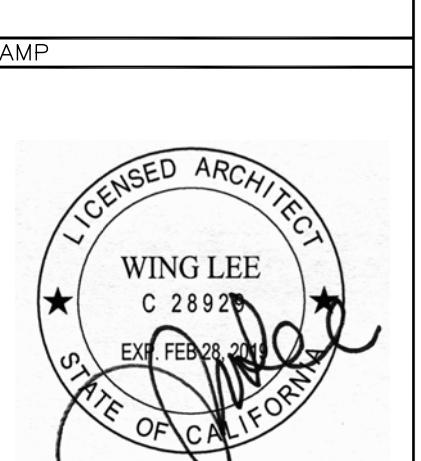
A4.1



## 903 SPRINGFIELD DR.

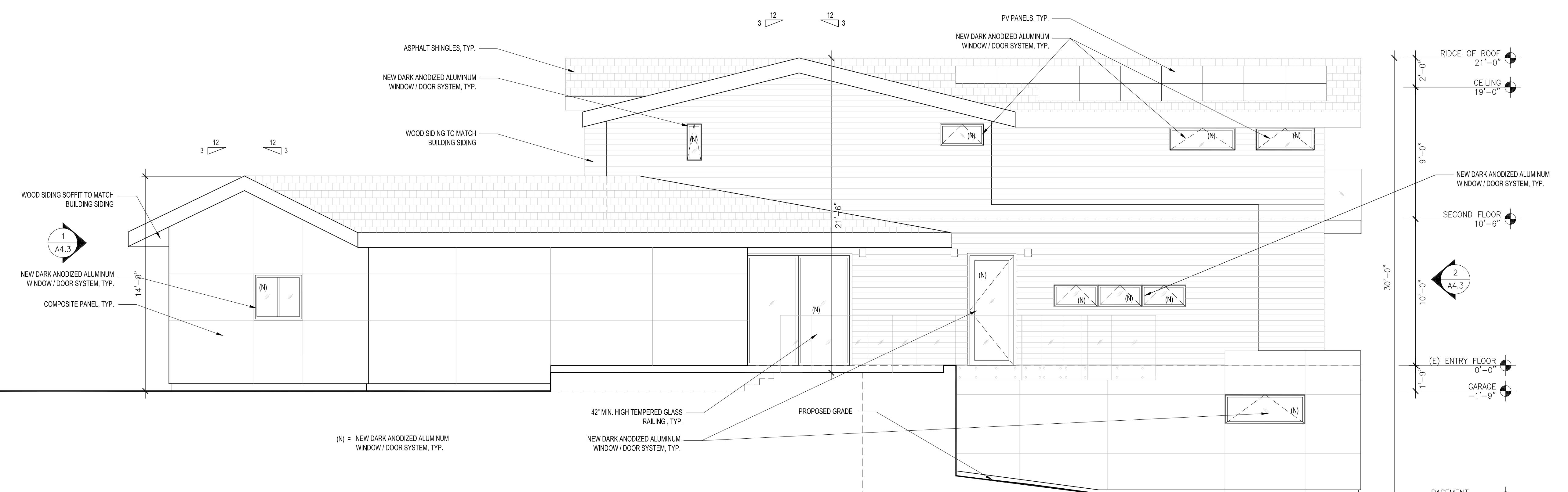
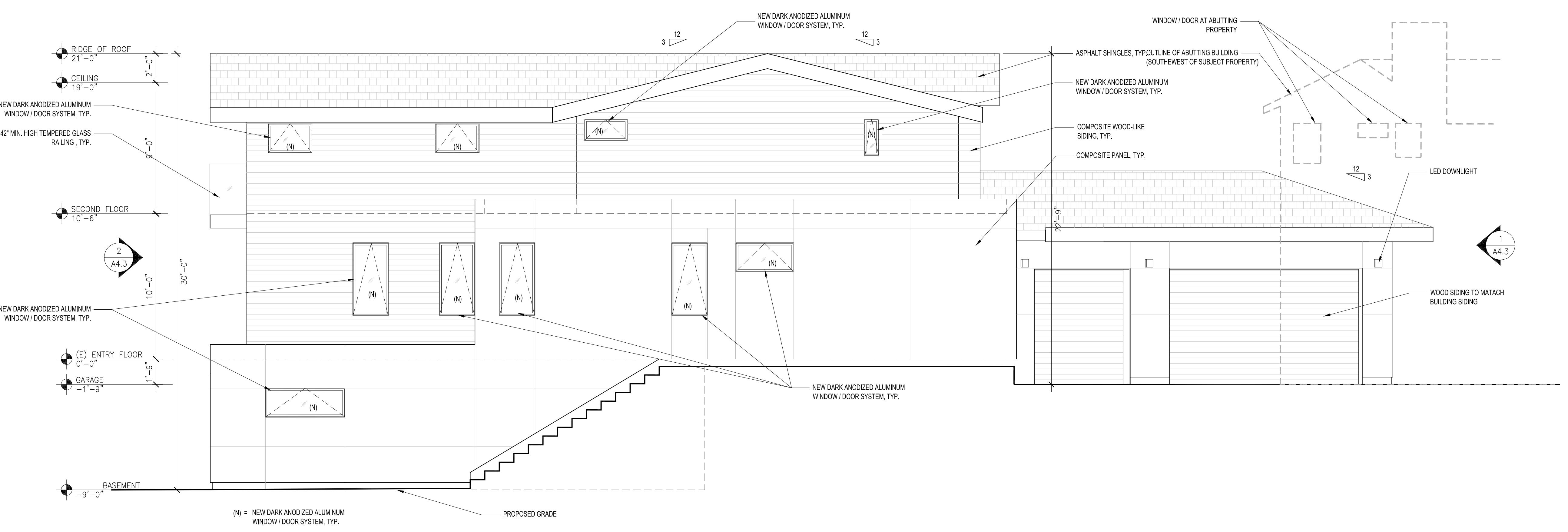
APN 021-461-120

ISSUE/RECORD/DATE
OWNER MEETING APRIL 1, 2018
OWNER MEETING APRIL 23, 2018
OWNER CONFIRM LAYOUT JUNE 22, 2018
PLANNING APPLICATION DECEMBER 21, 2018
NEIGHBOR MEETING #1 JANUARY 12, 2019
PLANNING APPLICATION #2 APRIL 26, 2019
PLANNING APPLICATION #3 JULY 26, 2019
PLANNING APPLICATION #4 MARCH 19, 2020
PLANNING APPLICATION #4.1 APRIL 22, 2020



DRAWING TITLE  
ELEVATIONS  
PROPOSED

A4.2

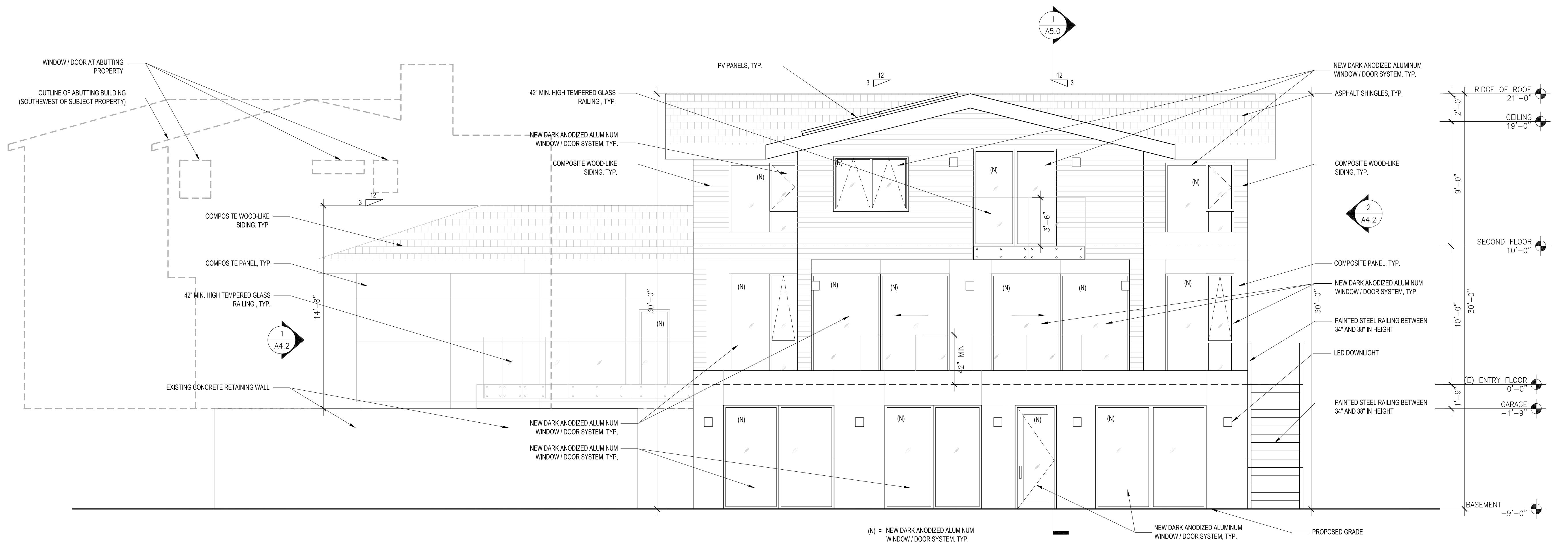


1 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

## 903 SPRINGFIELD DR.

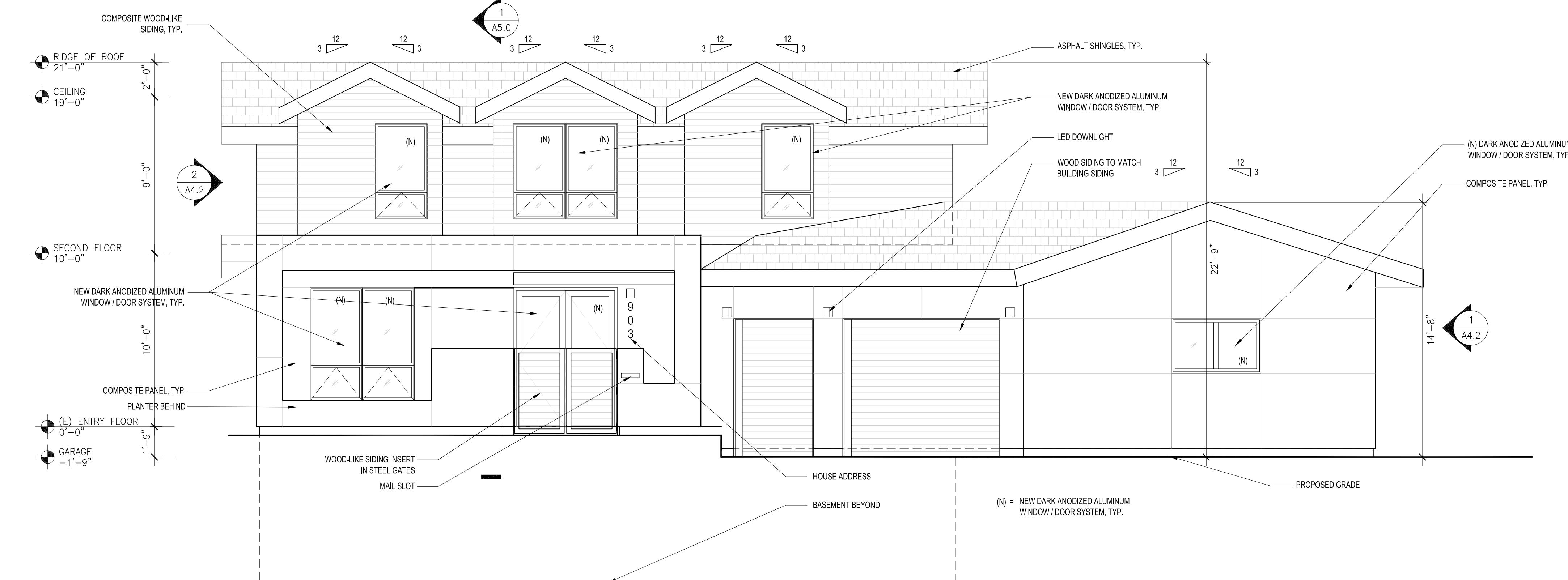
APN 021-461-120

ISSUE/RECORD/DATE
OWNER MEETING APRIL 1, 2018
OWNER MEETING APRIL 23, 2018
OWNER CONFIRM LAYOUT JUNE 22, 2018
PLANNING APPLICATION DECEMBER 21, 2018
NEIGHBOR MEETING #1 JANUARY 12, 2019
PLANNING APPLICATION #2 APRIL 26, 2019
PLANNING APPLICATION #3 JULY 26, 2019
PLANNING APPLICATION #4 MARCH 19, 2020
PLANNING APPLICATION #4.1 APRIL 22, 2020



2 PROPOSED EAST ELEVATION

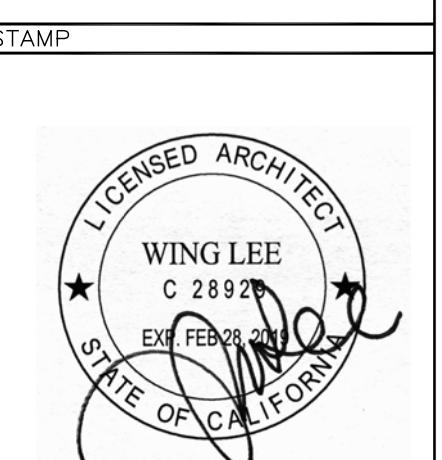
SCALE: 1/4" = 1'-0"



1 PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

A4.3

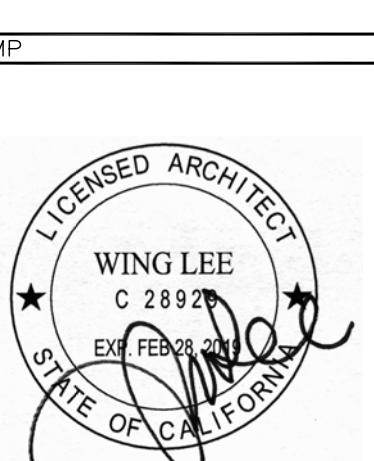


DRAWING TITLE  
ELEVATIONS  
PROPOSED

## 903 SPRINGFIELD DR.

APN 021-461-120

ISSUE/RECORD/DATE
OWNER MEETING APRIL 1, 2018
OWNER MEETING APRIL 23, 2018
OWNER CONFIRM LAYOUT JUNE 22, 2018
PLANNING APPLICATION DECEMBER 21, 2018
NEIGHBOR MEETING #1 JANUARY 12, 2019
PLANNING APPLICATION #2 APRIL 26, 2019
PLANNING APPLICATION #3 JULY 26, 2019
PLANNING APPLICATION #4 MARCH 19, 2020
PLANNING APPLICATION #4.1 APRIL 22, 2020



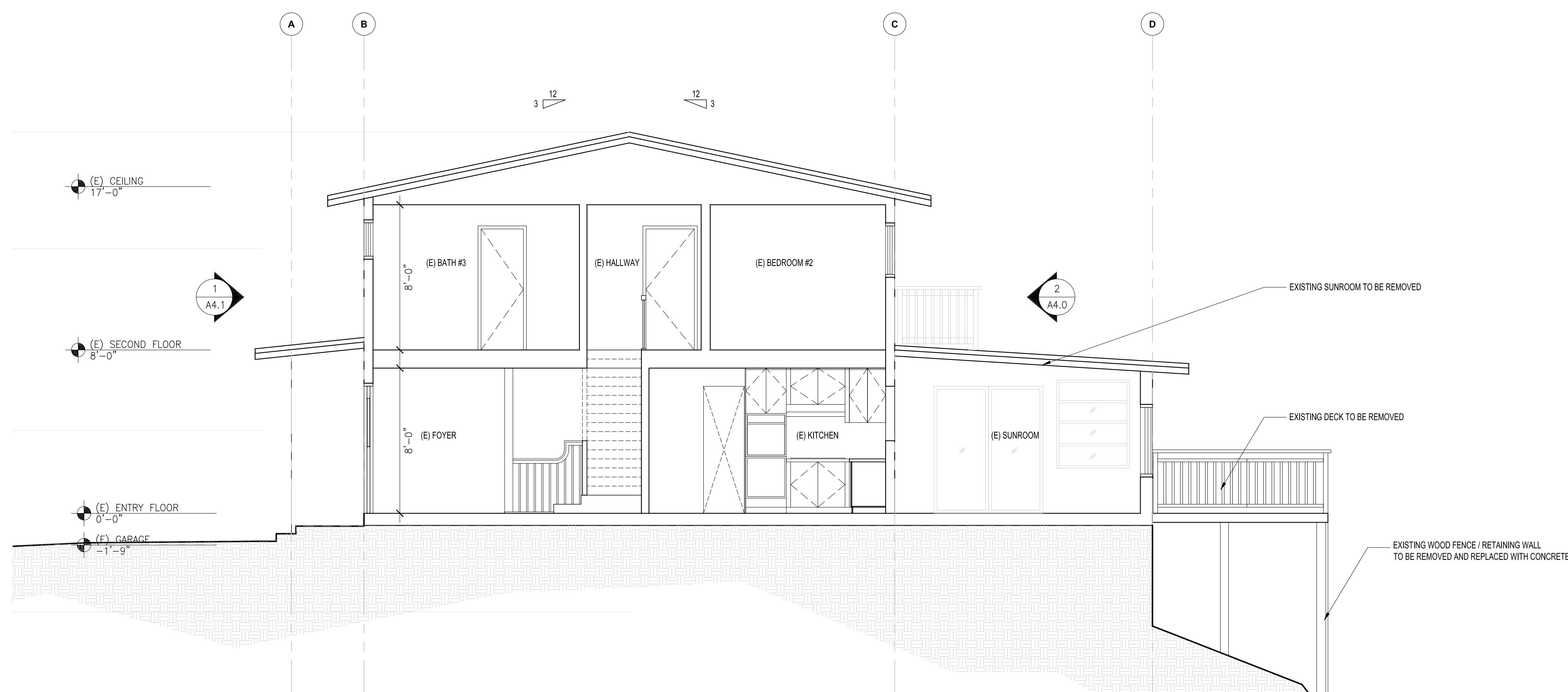
DRAWING TITLE  
EXISTING SECTION

A5.0

1

EXISTING SECTION THROUGH ENTRY

SCALE: 1/4" = 1'-0"



1

EXISTING SECTION THROUGH ENTRY

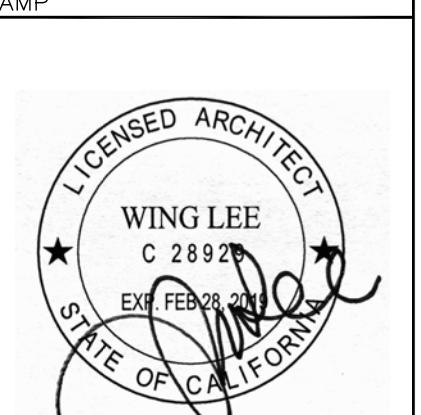
SCALE: 1/4" = 1'-0"



903 SPRINGFIELD DR.

100

UE RECORD / DATE
OWNER MEETING APRIL 1, 2018
OWNER MEETING APRIL 23, 2018
OWNER CONFIRM LAYOUT JUNE 22, 2018
PLANNING APPLICATION DECEMBER 21, 2018
NEIGHBOR MEETING #1 JANUARY 12, 2019
PLANNING APPLICATION #2 APRIL 26, 2019
PLANNING APPLICATION #3 JULY 26, 2019
PLANNING APPLICATION #4 MARCH 19, 2020
PLANNING APPLICATION #4.1 APRIL 22, 2020



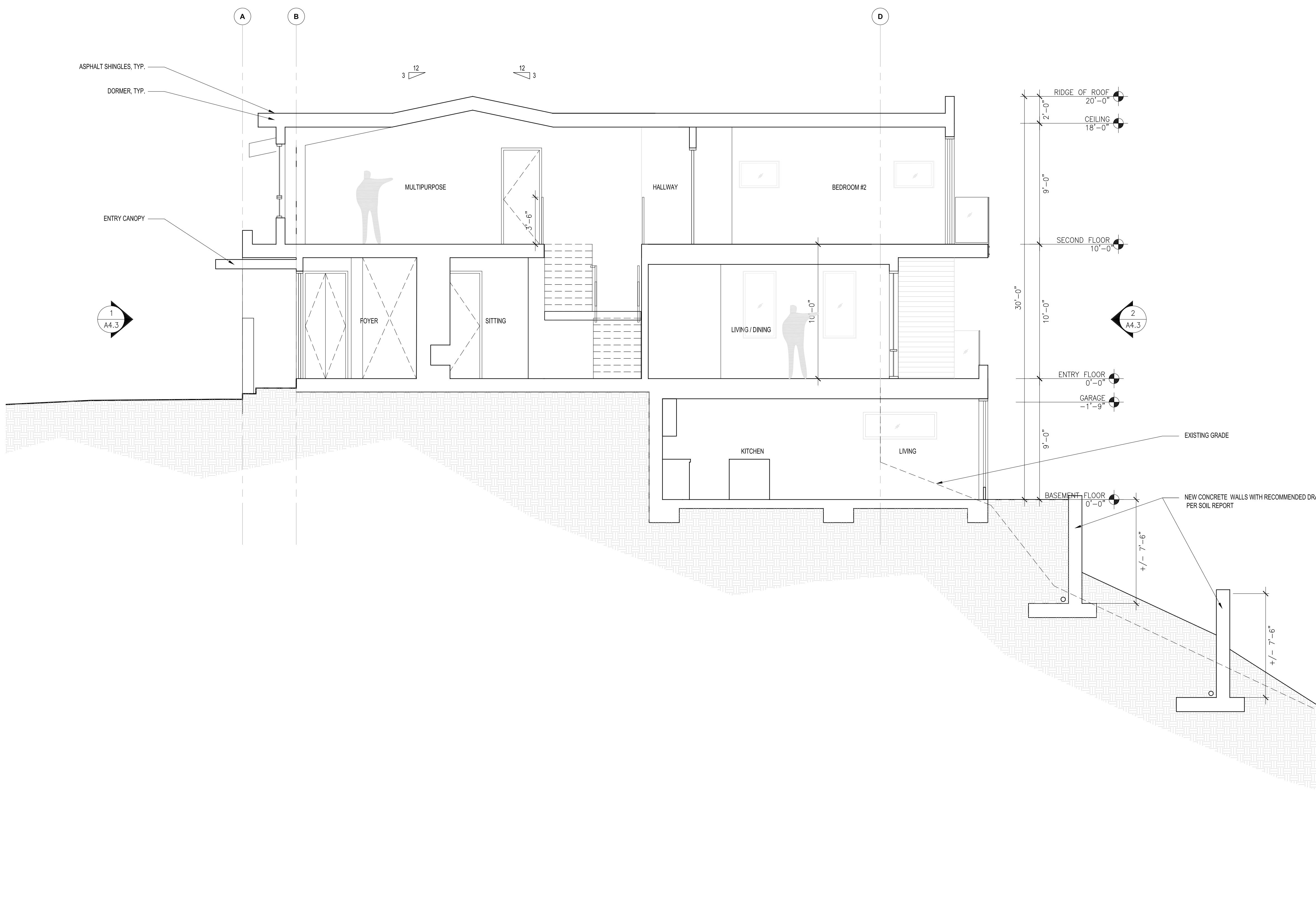
**DRAWING TITLE**

THE INFLUENCE OF THE CULTURE OF THE PARENTS ON THE CHILD'S LANGUAGE DEVELOPMENT 11

# A5.1

1 PROPOSED SECTION THROUGH ENTRANCE

SCALE:  $1/4'' = 1'$

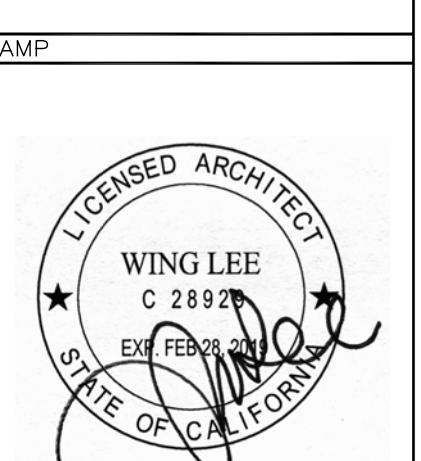


WING LEE ARCHITECTS  
 Wing Lee AIA, LEED AP BD+C  
 1403 Hudson Avenue  
 San Francisco CA 94124  
 T 415.297.6493  
 www.leeproject.com

## 903 SPRINGFIELD DR.

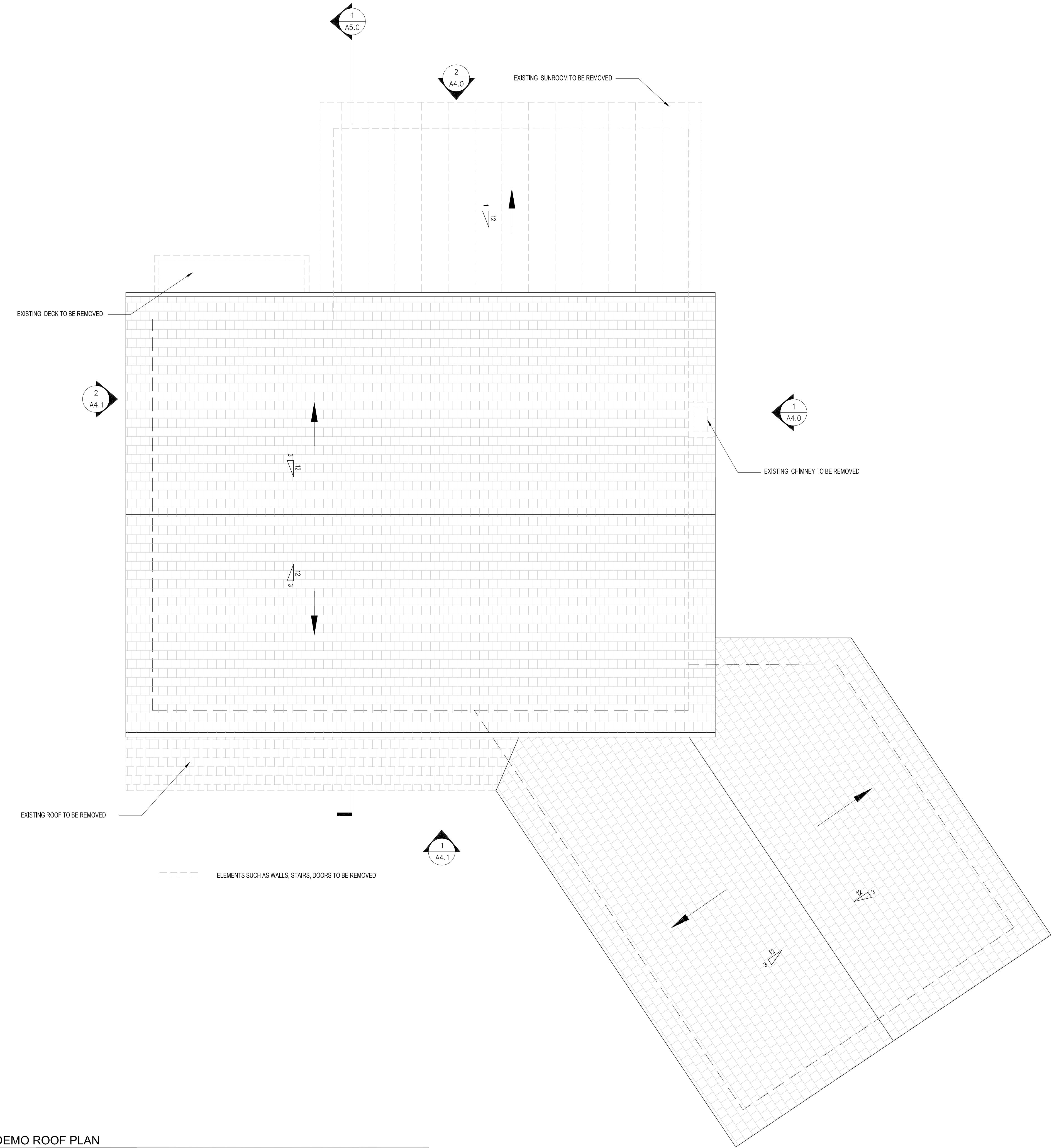
APN 021-461-120

ISSUE / RECORD / DATE
OWNER MEETING APRIL 1, 2018
OWNER MEETING APRIL 23, 2018
OWNER CONFIRM LAYOUT JUNE 22, 2018
PLANNING APPLICATION DECEMBER 21, 2018
NEIGHBOR MEETING #1 JANUARY 12, 2019
PLANNING APPLICATION #2 APRIL 26, 2019
PLANNING APPLICATION #3 JULY 26, 2019
PLANNING APPLICATION #4 MARCH 19, 2020
PLANNING APPLICATION #4.1 APRIL 22, 2020



DRAWING TITLE  
 ROOF PLAN  
 EXISTING / DEMO

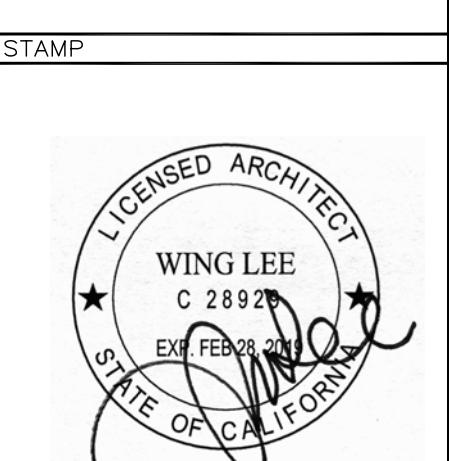
A6.0



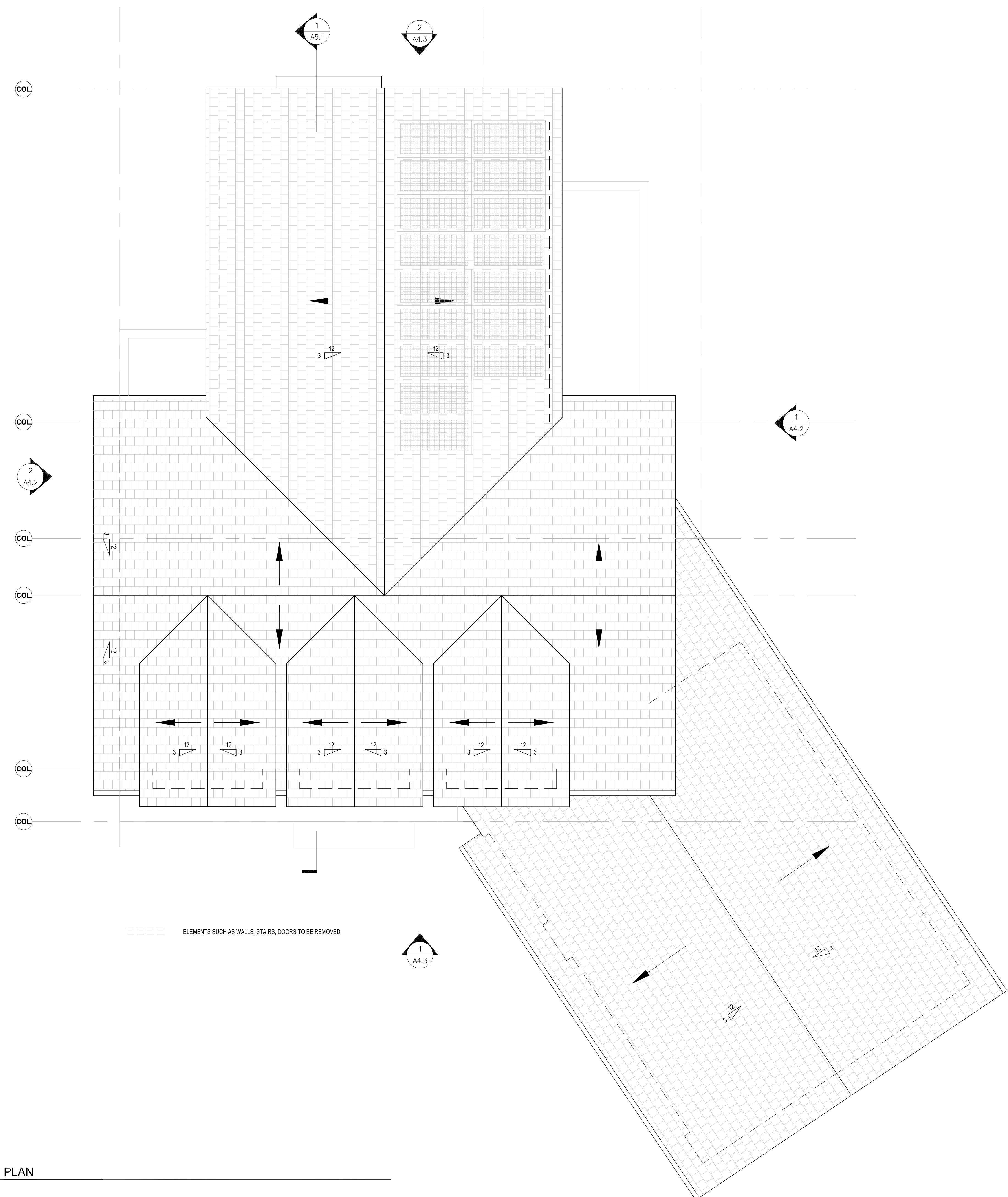
903 SPRINGFIELD DR.

APN 021-461-120

ISSUE/RECORD/DATE	
OWNER MEETING	APRIL 1, 2018
OWNER MEETING	APRIL 23, 2018
OWNER CONFIRM LAYOUT	JUNE 22, 2018
PLANNING APPLICATION	DECEMBER 21, 2018
NEIGHBOR MEETING #1	JANUARY 12, 2019
PLANNING APPLICATION #2	APRIL 26, 2019
PLANNING APPLICATION #3	JULY 26, 2019
PLANNING APPLICATION #4	MARCH 19, 2020
PLANNING APPLICATION #4.1	APRIL 22, 2020



DRAWING TITLE  
 ROOF PLAN  
 PROPOSED



A6.1



3 VIEW FROM SPRINGFIELD DRIVE TO PROPOSED FRONT ELEVATION  
SCALE: NTS



4 VIEW FROM EL CAPITAN DRIVE LOOKING AT REAR SUBJECT PROPERTY  
SCALE: NTS



1 AERIAL VIEW FROM NORTHWEST  
SCALE: NTS



1 AERIAL VIEW FROM SOUTHEAST  
SCALE: NTS

**903 SPRINGFIELD DR.**

APN 021-461-120

ISSUE RECORD/DATE

OWNER MEETING  
APRIL 1, 2018

OWNER MEETING  
APRIL 23, 2018

OWNER CONFIRM LAYOUT

JUNE 22, 2018

PLANNING APPLICATION

DECEMBER 21, 2018

NEIGHBOR MEETING #1

JANUARY 12, 2019

PLANNING APPLICATION #2

APRIL 26, 2019

PLANNING APPLICATION #3

JULY 26, 2019

PLANNING APPLICATION #4

MARCH 19, 2020

PLANNING APPLICATION #4.1

APRIL 22, 2020

STAMP



DRAWING TITLE

VIEW STUDY

# PRECISE AND GRADING AND DRAINAGE PLAN

## FOR

### KEVIN LU RESIDENCE

903 SPRINGFIELD DRIVE, MILLBRAE, CA 94030

#### GENERAL NOTES

- A. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE STANDARD PLANS AND SPECIFICATIONS OF THE CITY OF MILLBRAE, WHICH ARE HEREBY INCORPORATED INTO THESE PLANS.
- B. AT LEAST 48 HOURS NOTICE TO THE ENGINEERING DIVISION IS REQUIRED FOR A PRE-CONSTRUCTION MEETING PRIOR TO THE START OF CONSTRUCTION. PHONE (650) 259-2339.
- C. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE CITY ENGINEER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE.
- D. AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY/ OR EASEMENT AND MUST BE OBTAINED PRIOR TO THE START OF WORK.
- E. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES. THE UTILITIES SHOWN ON THE PLANS ARE BASED UPON RECORD INFORMATION, HOWEVER THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY OR ACTUAL LOCATIONS.
- F. THE CONTRACTOR SHALL LEAVE A 24-HOUR EMERGENCY TELEPHONE NUMBER WITH THE POLICE, FIRE AND PUBLIC WORKS DEPARTMENTS, AND KEEP THEM INFORMED DAILY OF ANY DETOURS.
- G. THE CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS OF THE STATE OF CALIFORNIA CONSTRUCTION SAFETY ORDERS PERTAINING TO EXCAVATIONS AND TRENCHES. A COPY OF THE CONSTRUCTION SAFETY ORDERS IS AVAILABLE IN THE ENGINEERING DIVISION FOR INSPECTION.
- H. PUBLIC SAFETY AND TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE AWATCH® MANUAL AND AS DIRECTED BY THE CITY ENGINEER.
- I. THE CONTRACTOR SHALL GIVE AT LEAST 24 HOURS' NOTICE TO THE CITY MAINTENANCE SUPERINTENDENT PRIOR TO CONNECTING TO EXISTING WATER FACILITIES. AT ALL TIMES, THE OPERATION OF EXISTING VALVES SHALL BE DONE UNDER THE DIRECTION OF MAINTENANCE DIVISION PERSONNEL.
- J. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF BASE ROCK UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- K. EXISTING CURB AND GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER PUBLIC IMPROVEMENTS WITHIN THE PROJECT LIMITS THAT ARE DAMAGED OR DISPLACED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, EVEN IF DAMAGE OR DISPLACEMENT WAS NOT CAUSED BY ACTUAL WORK PERFORMED BY THE CONTRACTOR.
- L. WHEN THE LOWEST FINISHED FLOOR LEVEL OF A HOUSE IS 12 INCHES OR LESS ABOVE THE TOP ELEVATION OF THE NEAREST UPSTREAM SANITARY SEWER STRUCTURE, THERE SHALL BE A BACKWATER OVERFLOW DEVICE OR CHECK VALVE INSTALLED ON THE SEWER LATERAL NEXT TO THE CLEAN OUT.
- M. IF PAVING AND STORM DRAIN IMPROVEMENTS ARE NOT COMPLETED BY OCTOBER 15, TEMPORARY SILT AND EROSION CONTROL FACILITIES SHALL BE INSTALLED TO CONTROL AND CONTAIN SILT DEPOSITS AND TO PROVIDE FOR THE SAFE DISCHARGE OF STORM WATERS INTO EXISTING STORM DRAINAGE FACILITIES. DESIGN OF THE SILT AND EROSION CONTROL FACILITIES MUST BE APPROVED PRIOR TO THEIR CONSTRUCTION.
- N. ALL TRAFFIC SIGNS AND STREET NAME SIGNS SHALL BE HIGH REFLECTIVE GRADE AND CONFORM TO CALTRANS SPECIFICATIONS AND CITY STANDARD PLAN M2.
- O. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT RELIEVE THE PERMITTEE OR HIS ENGINEER FROM THE RESPONSIBILITY FOR THE DESIGN OF THE IMPROVEMENTS AND ANY DEFICIENCIES RESULTING FROM THE DESIGN THEREOF.
- P. ALL CITY STANDARD DRAWINGS REFERENCED ON THE PLANS SHALL BE THE CURRENT VERSION AVAILABLE FROM THE PUBLIC WORKS DEPARTMENT.
- Q. A LICENSED LAND SURVEYOR SHALL BE RETAINED TO ESTABLISH ALL LINES, LEVELS, GRADES AND LOCATIONS OF ALL IMPROVEMENTS AND TO VERIFY THE PROPER INSTALLATION OF ALL IMPROVEMENTS. A STATE OF CALIFORNIA REGISTERED CIVIL ENGINEER SHALL BE RETAINED TO UPDATE CONTRACT PLANS AND TO SUBMIT RECORD DRAWINGS INDICATING ALL FINAL IMPROVEMENTS, WITH APPROVED REVISIONS, INSTALLED.
- R. CUT SHEETS SHALL BE SUBMITTED TO THE CITY FOR APPROVAL AT LEAST ONE (1) WEEK PRIOR TO THE START OF CONSTRUCTION OF AN IMPROVEMENT REQUIRING THEM.
- S. THE CONTRACTOR SHALL PERFORM THE NECESSARY TESTS IN ACCORDANCE WITH CITY STANDARDS ON NEWLY INSTALLED STORM DRAINS, SEWER, AND WATER SYSTEMS ONLY AFTER TRENCHES ARE BACKFILLED AND STREET BASE IS IN PLACE, COMPACTED AND READY FOR ASPHALT PAVING.
- T. THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL MANHOLES, VALVE AND MONUMENT COVERS WITHIN THE WORK AREA UNLESS NOTED OTHERWISE.
- U. THE CONTRACTOR SHALL PLACE A AS@ (FOR SEWER) AND A AW@ (FOR WATER) IN THE WET CONCRETE CURB TOP AT ALL NEW LATERAL LOCATIONS.
- V. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.

#### DOCUMENTATION

1. AN AS-BUILT GRADING PLAN SHALL BE PREPARED BY THE CIVIL ENGINEER INCLUDING ORIGINAL GROUND SURFACE ELEVATIONS, AS GRADED GROUND SURFACE ELEVATIONS, LOT DRAINAGE PATTERNS AND LOCATIONS, AND ELEVATIONS OF ALL SURFACE AND SUBSURFACE DRAINAGE FACILITIES. HE/SHE SHALL PROVIDE WRITTEN APPROVAL THAT THE WORK WAS DONE IN ACCORDANCE WITH THE FINAL APPROVED GRADING PLAN AND STATE THE NUMBER OF YARDS OF CUT AND/OR FILL MOVED DURING THE OPERATION.
2. A SOILS GRADING REPORT PREPARED BY THE SOILS ENGINEER, INCLUDING LOCATIONS AND ELEVATION OF FIELD DENSITY TESTS. SUMMARIES OF FIELD AND LABORATORY RESULTS AND OTHER SUBSTANTIATED DATA AND COMMENTS ON ANY CHANGES MADE DURING GRADING AND THEIR EFFECT ON THE RECOMMENDATIONS MADE IN THE SOILS ENGINEERING INVESTIGATION REPORT. HE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AND COMPLETION OF WORK IN ACCORDANCE WITH THE JOB SPECIFICATIONS.
3. A GEOLOGIC GRADING REPORT PREPARED BY THE ENGINEERING GEOLOGIST, INCLUDING A FINAL DESCRIPTION OF THE GEOLOGY OF THE SITE, INCLUDING ANY NEW INFORMATION DISCLOSED DURING THE GRADING AND THE EFFECT OF SAME ON RECOMMENDATIONS INCORPORATED IN THE APPROVED GRADING PLAN. HE/SHE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AS AFFECTED BY GEOLOGIC FACTORS.

#### NOTICE TO CONTRACTOR

1. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITION DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
2. IF THIS PROJECT IS STAKED BY SURVEY CREWS OTHER THAN THOSE CREWS UNDER THE DIRECT SUPERVISION OF THE SIGNATORY ENGINEER, THE SIGNATORY ENGINEER WILL NO LONGER BE THE ENGINEER OF RECORD AND WILL HAVE NO RESPONSIBILITY AS TO THE FINAL CONSTRUCTED PROJECT. THE SIGNATORY ENGINEER WILL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS THAT COULD HAVE BEEN CORRECTED DURING THE CONSTRUCTION OF THIS PROJECT, IF THE STAKING HAD BEEN DONE BY THE SURVEY CREW UNDER HIS DIRECT SUPERVISION.
3. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO THESE LINES OR STRUCTURES.

#### NOTE TO SURVEYOR

SURVEYOR TO FILE A CORNER RECORD OR RECORD OF SURVEY WITH THE OFFICE OF COUNTY SURVEYOR. EVIDENCE OF FILING SHALL BE SUBMITTED TO BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.

SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSET BEFORE STARTING GRADING.

#### ADDITIONAL NOTE

1. LICENSED SURVEYOR TO PROVIDE MONITORING OF SHORING AND IMPROVEMENTS ON THE ADJACENT PROPERTIES AND SUBMIT RESULTS WITH A REPORT TO THE SHORING DESIGN ENGINEER AND TO THE BUILDING INSPECTOR ON A DAILY BASIS DURING EXCAVATION AND SHORING AND WEEKLY BASIS THEREAFTER. WHERE DEWATERING IS REQUIRED, MONITORING SHALL CONTINUE UNTIL DEWATERING IS STOPPED.
2. IN LIEU OF SPECIAL INSPECTION BY DEPUTY BUILDING INSPECTOR, GEOTECHNICAL ENGINEER SHALL PROVIDE CONTINUOUS INSPECTIONS DURING SHORING AND EXCAVATION OPERATIONS AND DURING REMOVAL OF SHORING.
3. CONTRACTOR SHALL NOTIFY ADJACENT PROPERTY OWNER BY CERTIFIED MAIL 10 DAYS PRIOR TO STARTING THE SHORING OR EXCAVATION WORK.

#### SHEET INDEX

TITLE SHEET	C-1
PRECISE GRADING AND DRAINAGE PLAN	C-2
SECTIONS AND DETAILS PLAN	C-3
EROSION CONTROL PLAN	C-4

LOT SIZE:	15,423	SQ-FT
DISTURBED AREA:	7,580	SQ-FT
EXISTING IMPERVIOUS AREA:	4,491	SQ-FT
REPLACED AND NEW IMPERVIOUS AREA:	1,463	SQ-FT

NOTE:  
QUANTITIES SHOWN HERE ON ARE FOR PERMIT AND/OR BONDING PURPOSE ONLY.

#### ARCHITECT

WING LEE  
1403 HUDSON AVENUE  
SAN FRANCISCO, CA 94124  
PHONE: 415-297-6493

#### SOIL ENGINEER

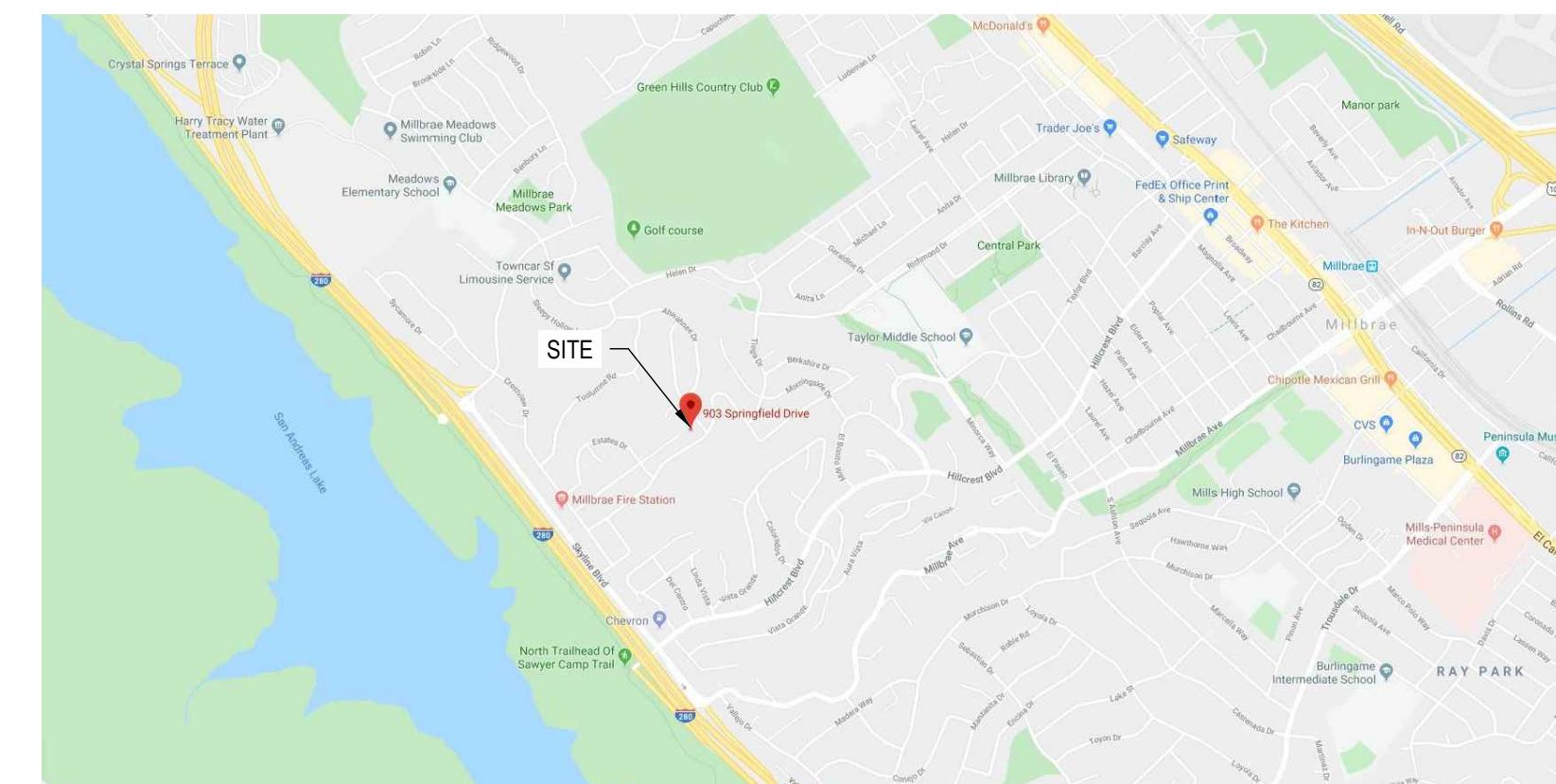
IGOR GARY KLEYNER  
1465 BAYSHORE BOULEVARD, SUITE 133  
SAN FRANCISCO, CA 94124

#### CIVIL ENGINEER

CORE CIVIL INC.  
23172 PLAZA POINTE DRIVE, SUITE #145  
LAGUNA HILLS, CA 92653  
PHONE: 949-954-7244

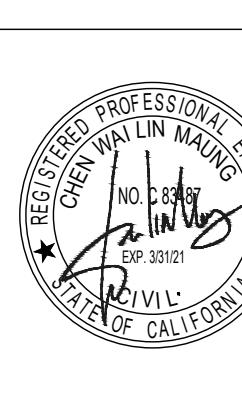
#### BASIS OF BEARING

THE BASIS OF BEARING IS N 53°45'00" E BETWEEN FOUND STANDARD WELL MONUMENT PER R1, FIELD IN THE OFFICE OF THE SAN MATEO COUNTY RECORDER.



OWNER/SUBDIVIDER:  
KEVIN LU  
903 SPRINGFIELD DRIVE  
MILLBRAE, CA 94030

NO.	DATE	REVISIONS	APPROVED BY	CHECKED BY:	W.C.



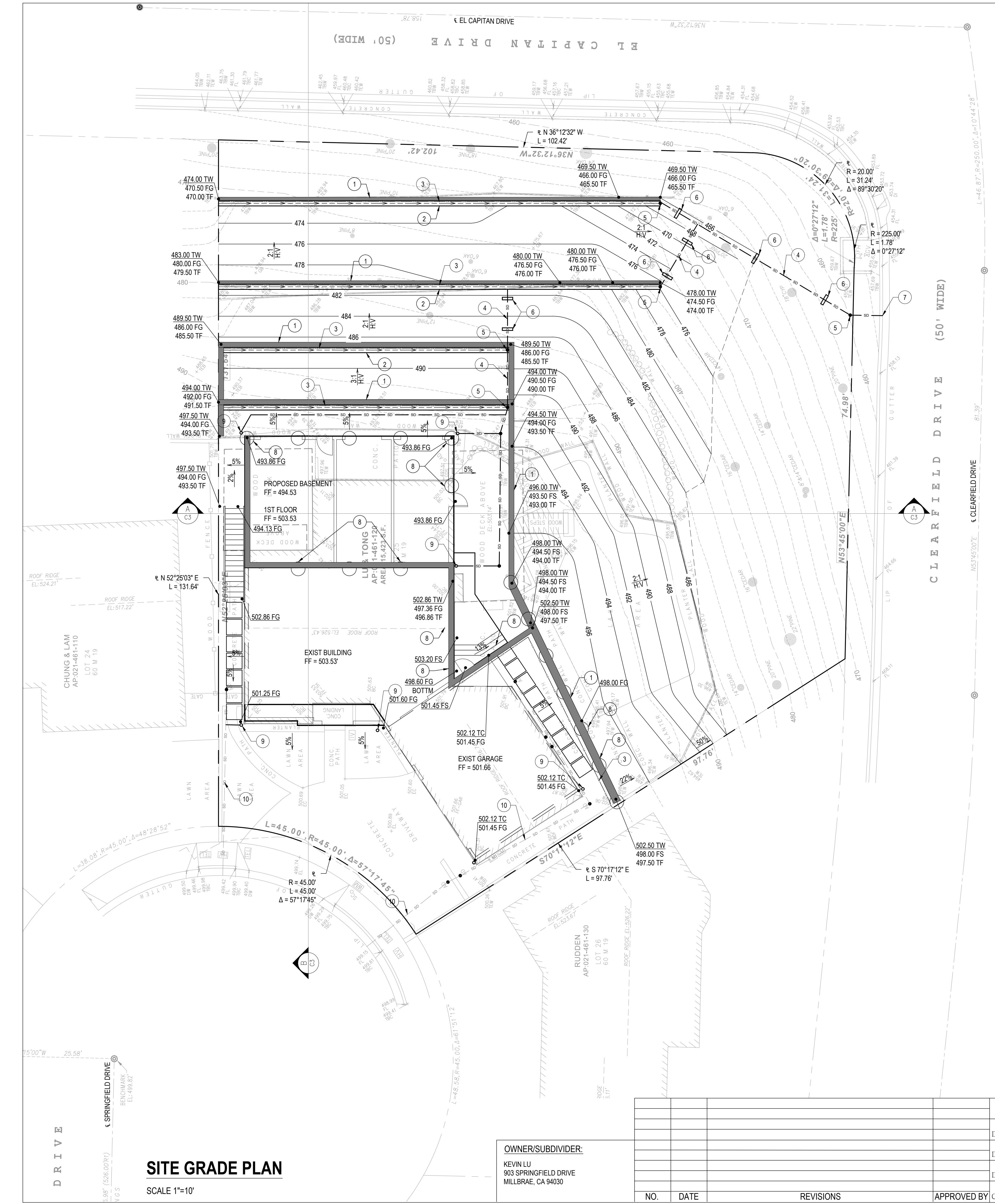
PLANS PREPARED BY:  
**Core Civil Engineering, Inc.**  
23172 Plaza Pointe Dr. Suite #145  
Laguna Hills, CA 92653  
Phone: 949-954-7244  
info@corestructure.com  
www.corestructure.com



02-26-2020  
WAI LIN MAUNG CHEN  
R.C.E. C83487 EXP. 3/31/2021  
DATE

LU RESIDENCE  
TITLE SHEET  
PROJECT ADDRESS  
903 SPRINGFIELD DR.  
MILLBRAE, CA 94030

PROJECT NO.:  
90265  
SHEET NO.:  
C-1

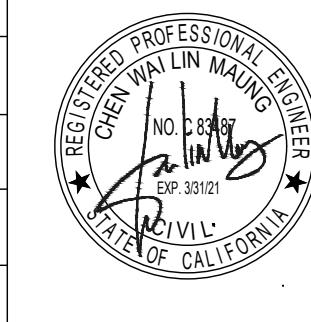


# SITE GRADE PLAN

SCALE 1"=10'

OWNER/SUBDIVIDER  
KEVIN LU  
903 SPRINGFIELD DRIVE  
MILLBRAE, CA 94030

					DESIGNER
					DESIGNED BY:
					DRAFTED BY:
					CHECKED BY:
NO.	DATE	REVISIONS	APPROVED BY		W.C.



**PLANS PREPARED BY:**

The logo for Core Civil Engineering, Inc. features the word "CORE" in large, bold, black capital letters. To the right of "CORE" is a stylized graphic element consisting of a grey sphere with a red horizontal band. Below the logo, the tagline "From The Ground Up" is written in a smaller, italicized, black script font. To the right of the logo, the company name "Core Civil Engineering, Inc." is displayed in a large, serif font. Below the company name, the address "23172 Plaza Pointe Dr. Suite #145" and the location "Laguna Hills, CA 92653" are listed. Below the address, the phone number "Phone: 949-954-7244" and the email "info@corestructure.com" are provided. At the bottom right, the website "www.corestructure.com" is listed. A date "02-26-2020" is positioned at the far right, and the word "DATE" is at the bottom right corner of the page.

# LU RESIDENCE

# SITE GRADE PLAN

## PROJECT ADDRESS

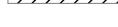
903 SPRINGFIELD DR.  
MILLBRAE, CA 94030

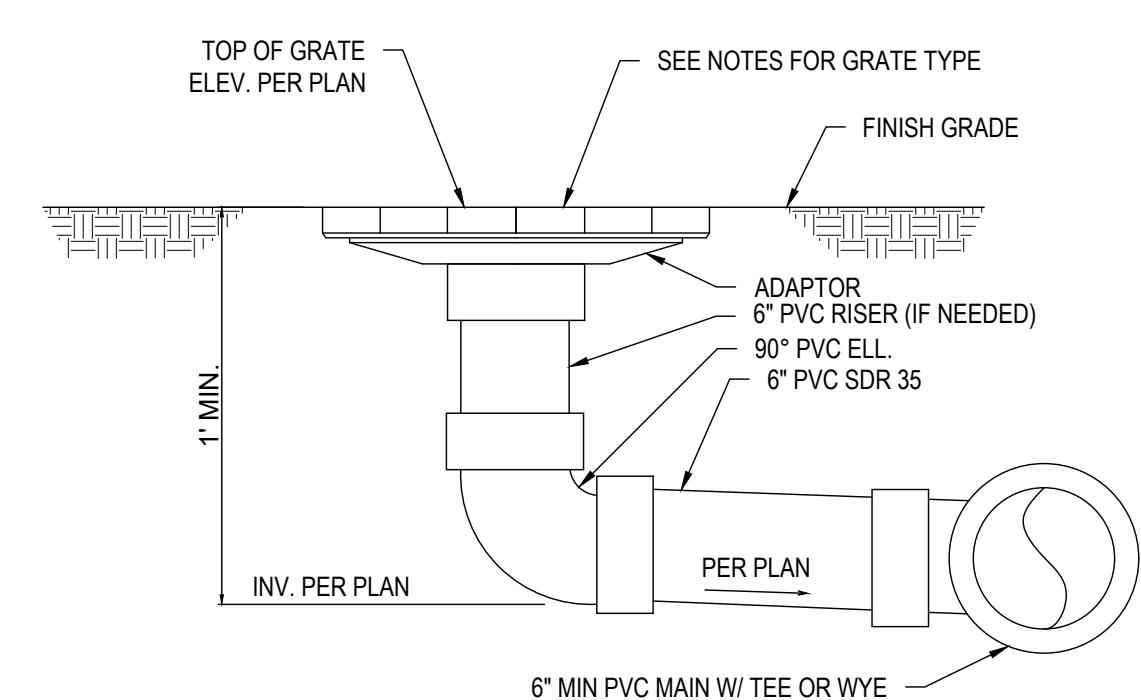
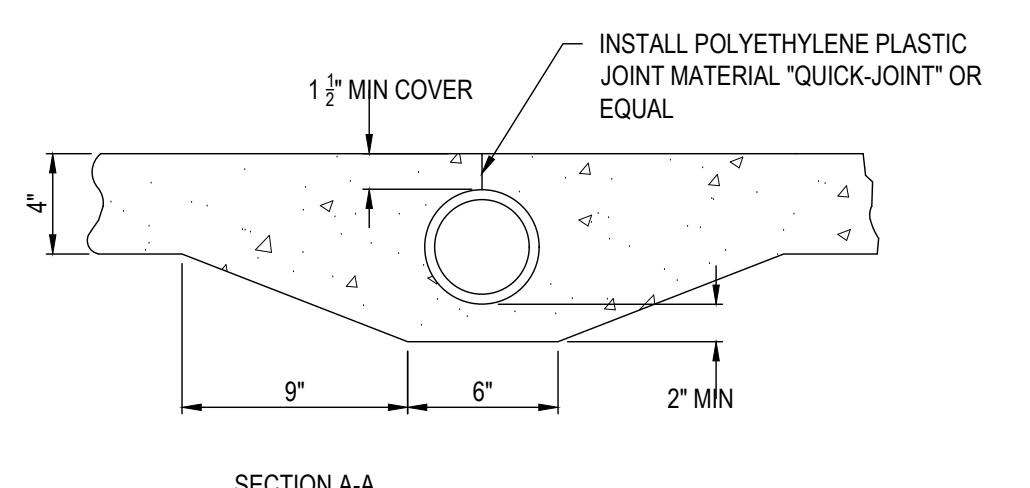
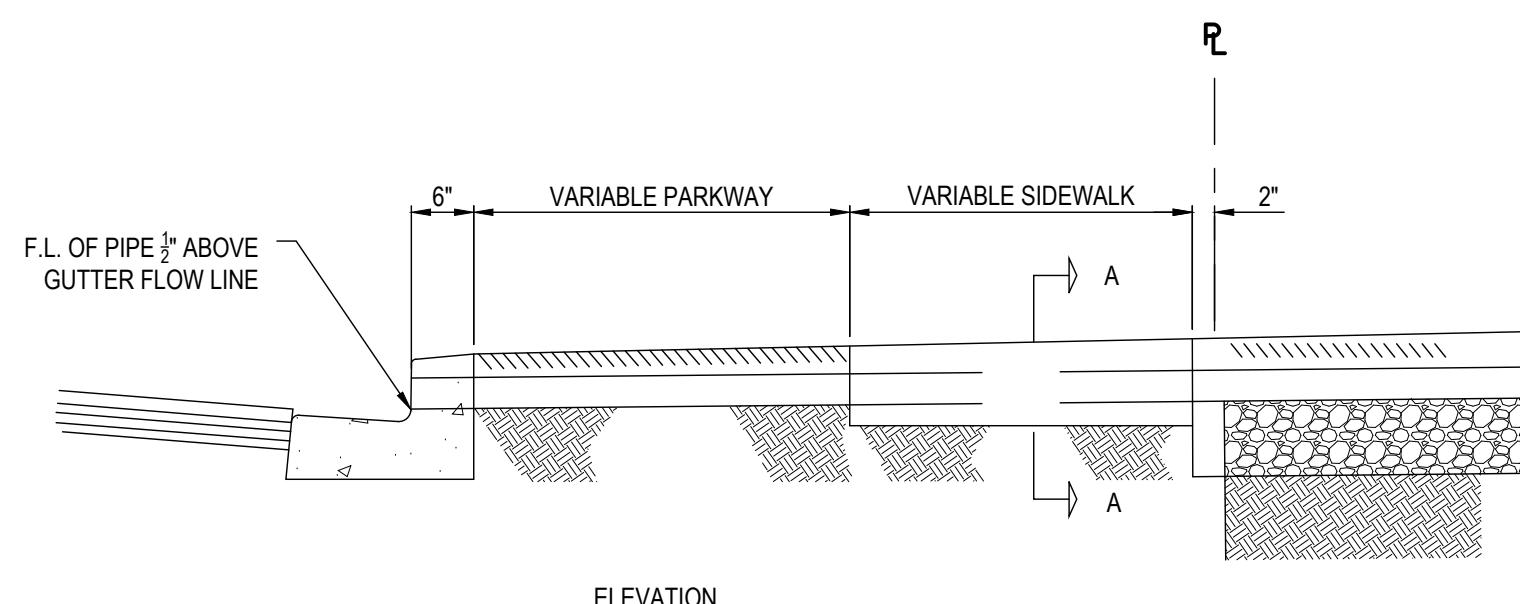
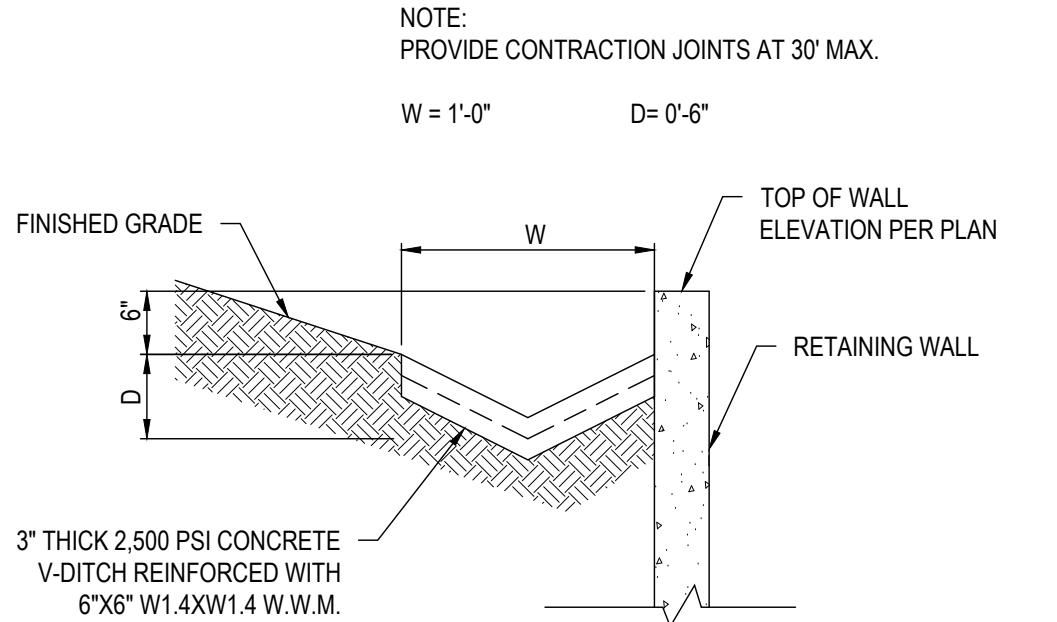
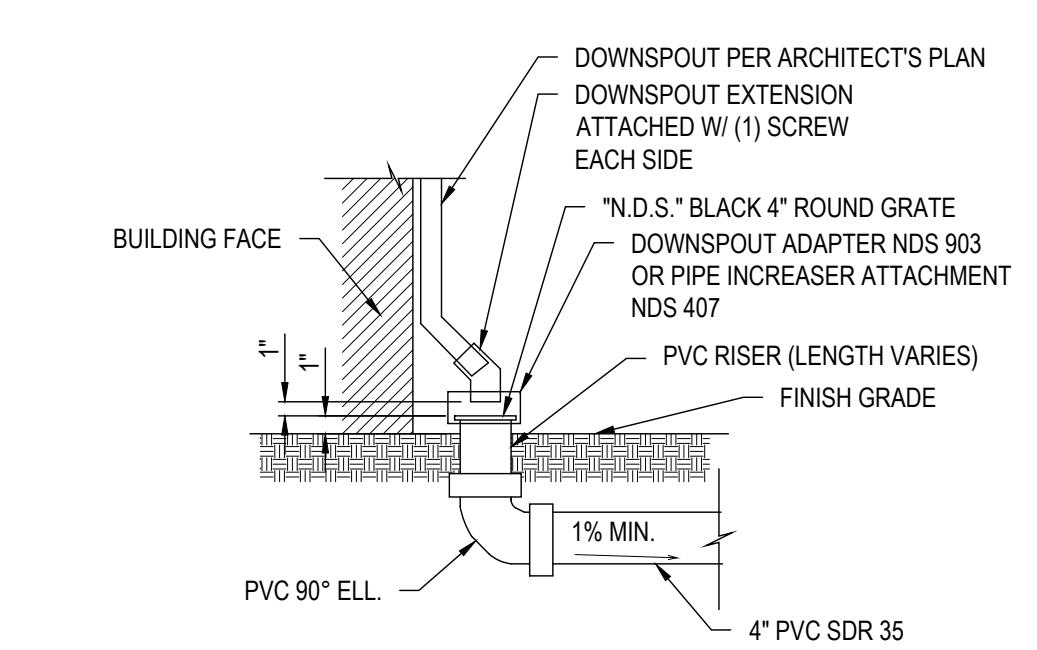
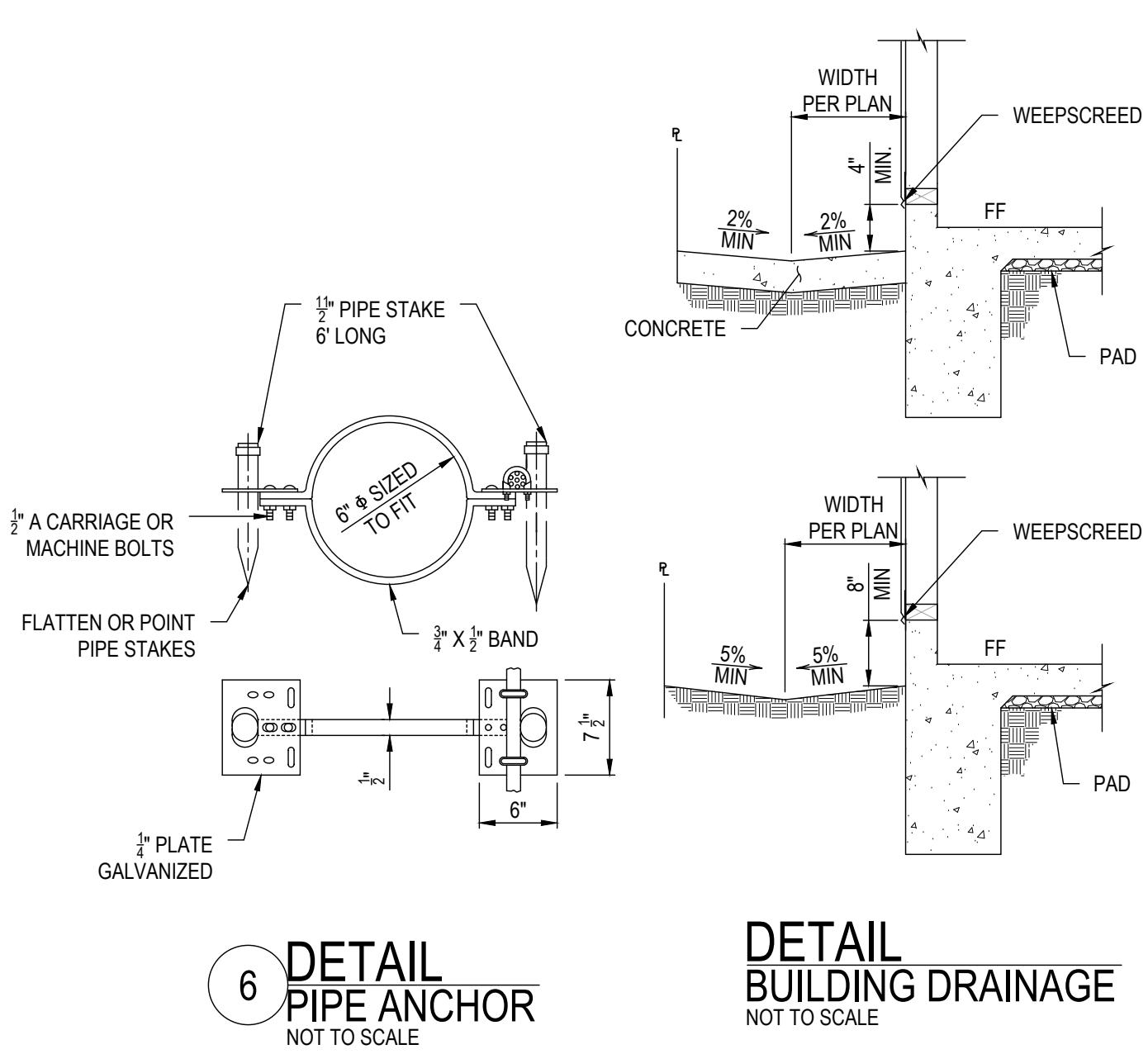
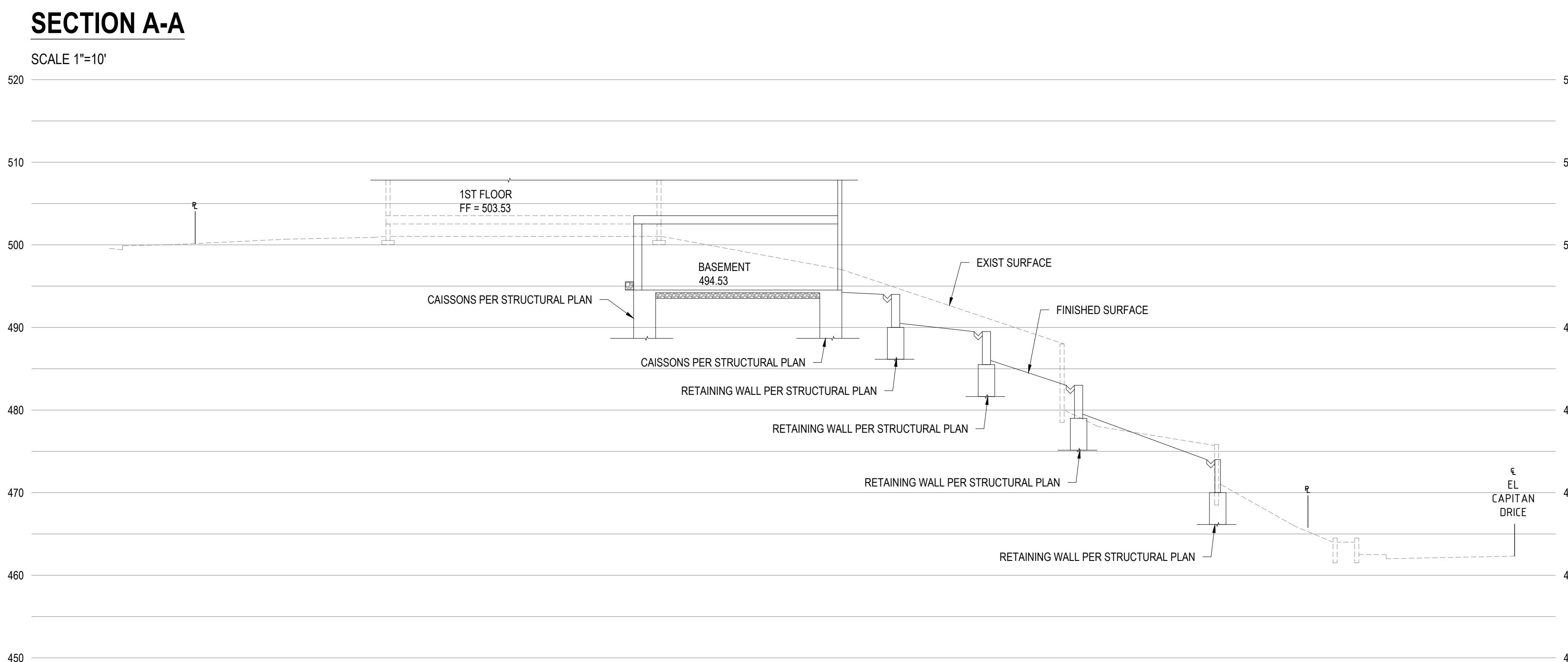
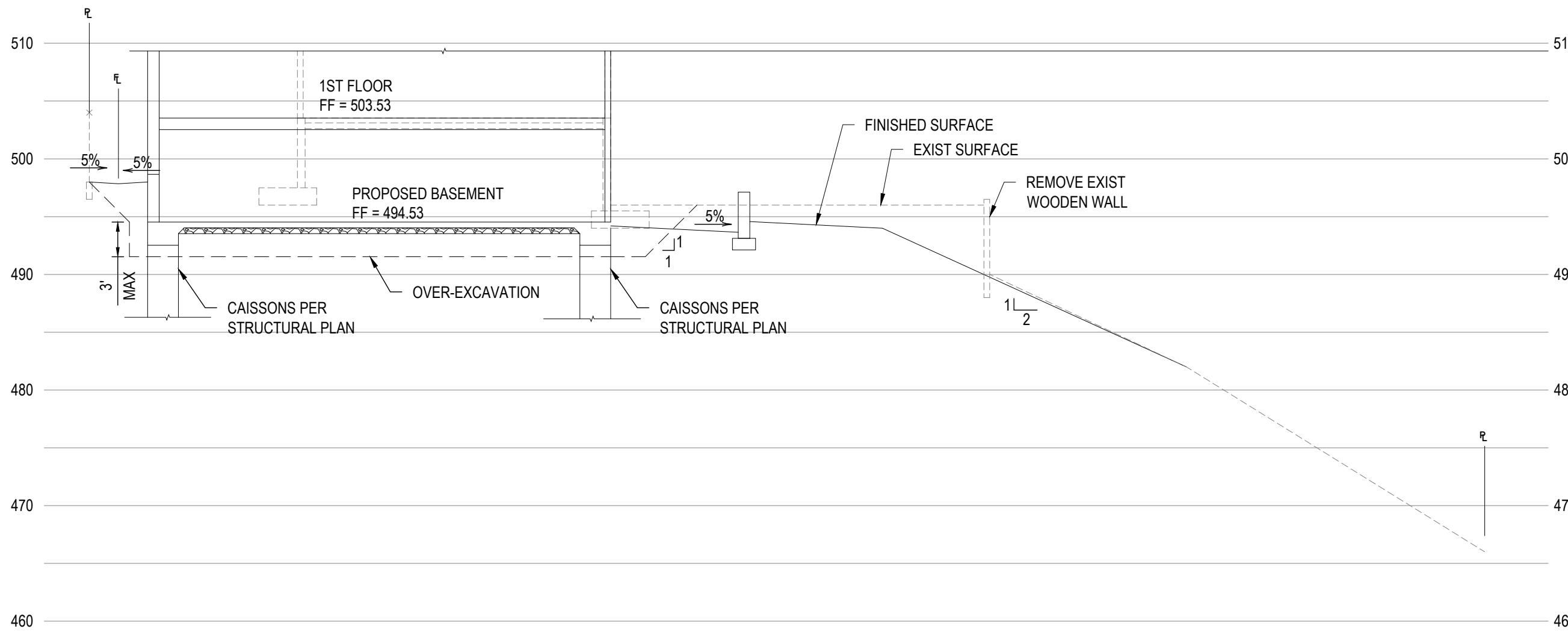
PROJECT NO.: 90265  
SHEET NO.: C-2

## **CONSTRUCTION NOTE**

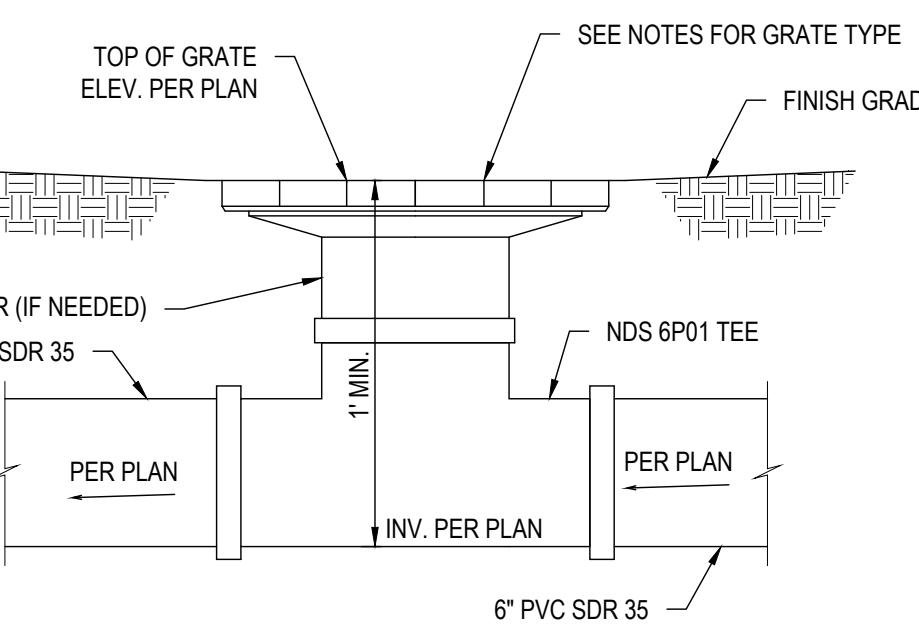
- 1 PROPOSED RETAINING WALL PER STRUCTURAL PLAN.
- 2 CONSTRUCT RETAINING WALL BACK DRAIN PER DETAIL.
- 3 INSTALL RETRAINING WALL SUB-DRAIN SYSTEM.
- 4 INSTALL 6" DIA. SCHEDULE 40 PIPE DRAIN SYSTEM.
- 5 INSTALL 6" DIA. DRAIN INLET BY NDS.
- 6 INSTALL PIPE SLOPE ANCHOR PER DETAIL.
- 7 INSTALL PRIVATE DRAIN THROUGH PER DETAIL.
- 8 CAISSENS PER STRUCTURAL PLAN.
- 9 INSTALL DOWNSPOUT PER ARCHITECTURAL PLAN.
- 10 EXIST STORM DRAIN SYSTEM. PROTECT IN PLACE.

## LEGEND

— 100 —	EXISTING CONTOUR
— 100 —	PROPOSED CONTOUR
● 100FS	SPOT ELEVATION
	PROPOSED Hardscape
— SD —	PROPOSED STORM DRAIN
	EXIST WALL
	PROPOSED PLANTER WALL
	PROPOSED RETAINING WALL
→ → → →	FLOW LINE
— - - -	PROPERTY LINE
<u>X.X%</u>	SURFACE SLOPE
<u>S=XX</u>	STORM DRAIN SLOPE
DF	DEEPENED FOOTING
PAD	PROPOSED PAD ELEVATION
FS	PROPOSED FINISHED SURFACE
FG	PROPOSED FINISHED GROUND
FF	PROPOSED FINISHED FLOOR
INV	INVERT OF PIPE
TG	TOP OF GRATE
PL	PROPERTY LINE
TW	TOP OF WALL
TF	TOP OF FOOTING
HP	HIGH POINT
LP	LOW POINT

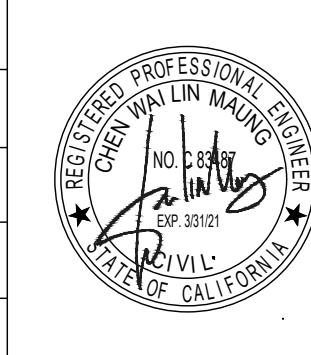


NOTE:  
1. ALL FITTINGS BY: NDS, INC. (OR EQUAL) PHONE: 1-800-726-1994  
2. REFER TO GRADING PLAN FOR FINISH GRADING.  
3. DO NOT GLUE GRATE OR RISER TO PIPE.



NO.	DATE	REVISIONS	APPROVED BY	CHECKED BY	W.C.

OWNER/SUBDIVIDER:  
KEVIN LU  
903 SPRINGFIELD DRIVE  
MILLBRAE, CA 94030



PLANS PREPARED BY:  
**Core Civil Engineering, Inc.**  
23172 Plaza Pointe Dr. Suite #145  
Laguna Hills, CA 92653  
Phone: 949-954-7244  
info@corestructure.com  
www.corestructure.com

02-26-2020  
WAI LIN MAUNG CHEN  
R.C.E. C83487 EXP. 3/31/2021  
DATE

LU RESIDENCE  
SITE GRADE PLAN  
PROJECT ADDRESS  
903 SPRINGFIELD DR.  
MILLBRAE, CA 94030

PROJECT NO.:  
90265  
SHEET NO.:  
C-2



ARCHITECT

**WING LEE ARCHITECTS**

Wing Lee AIA, LEED AP BD+C  
1403 Hudson Avenue  
San Francisco CA 94124

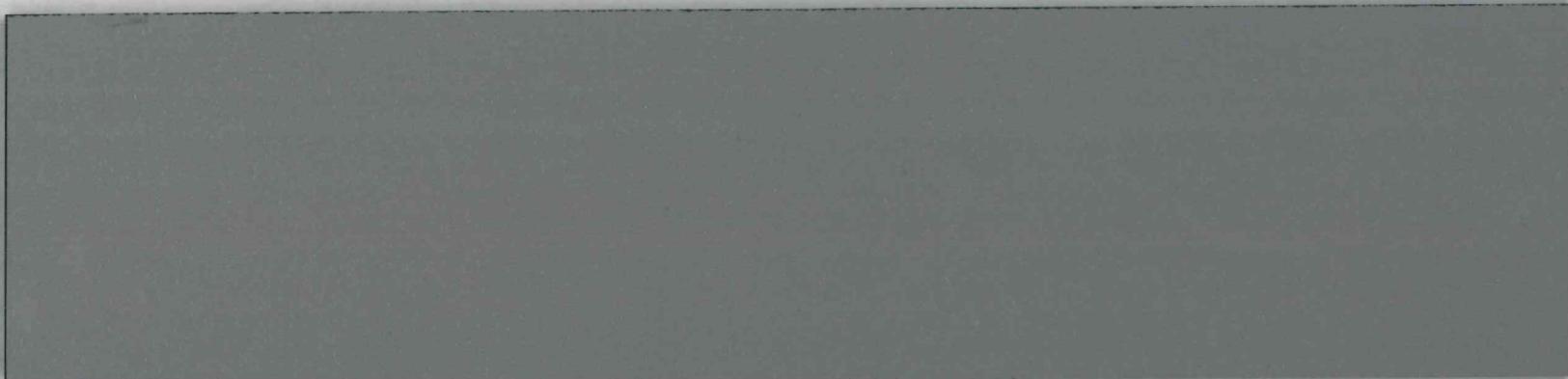
T 415.297.6493

[www.leearchitect.com](http://www.leearchitect.com)  
wing@leearchitect.com



WINDOW SYSTEM - COLOR: FLAT BRONZE

TRESPA METEON EXTERIOR PANEL - WHITE SATIN (A03.0.0)



TRESPA METEON EXTERIOR PANEL - MID GREY SATIN (A21.5.1)



TRESPA METEON EXTERIOR PANEL - BLACK SATIN A90.0.0



TRESPA PURA SIDING - COLOR: ROYAL MAHAGANY PU04

PROJECT

**903 SPRINGFIELD DRIVE  
RENOVATION &  
ADDITION  
MILLBRAE, CA 94030  
APN 021-461-120**

DRAWING TITLE

COLOR & MATERIAL  
SAMPLES

## 906 Springfield Drive Views



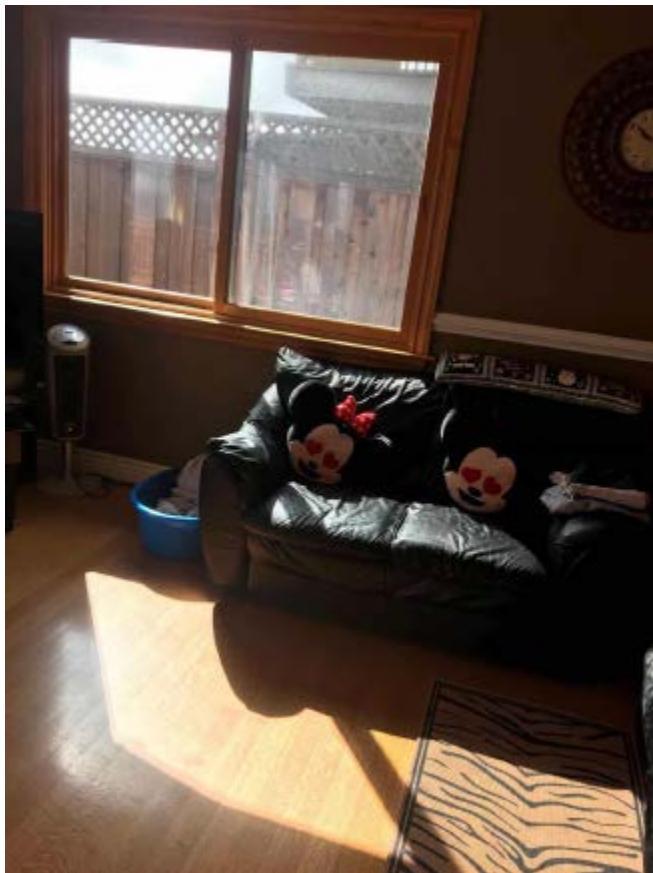
**View facing south from Kitchen, adjacent to project.**



**View facing south from the 2<sup>nd</sup> floor master bedroom.**



**View south from 2<sup>nd</sup> floor porch.**



**View south toward backyard of 603 Springfield from adjacent living room.**

903 Springfield Drive:

Story pole staff site visit photos

June 18, 2020

Facing North towards 906 Springfield from first floor  
of 903 Springfield Drive



000001

Facing East from 903 Springfield first floor with horizontal addition to the South.



000002

Facing Southeast from 903 Springfield first floor

000003

Facing Northeast from second floor of 903 Springfield

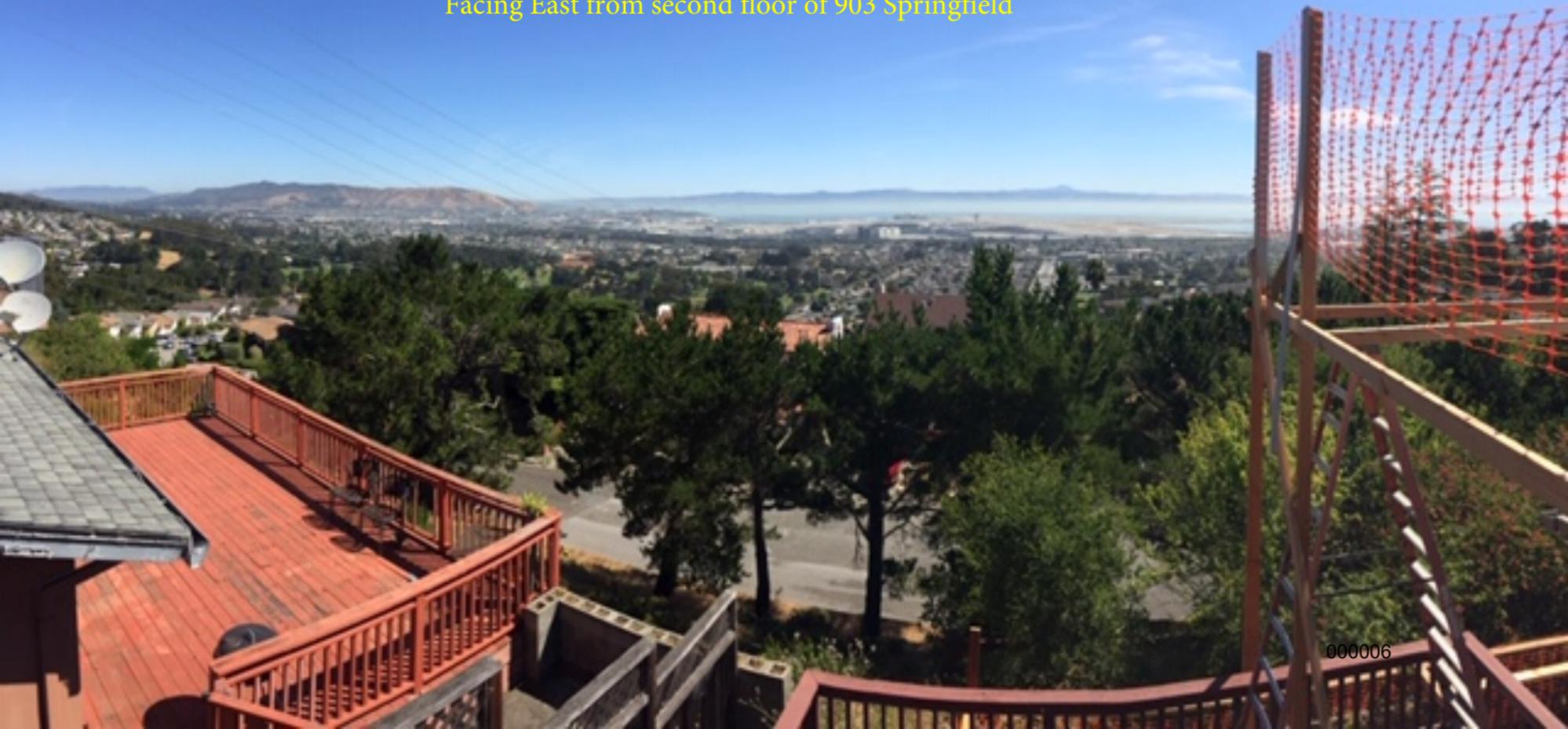


000004

Facing Southeast from second floor of 903 Springfield

000005

Facing East from second floor of 903 Springfield



000006

View from second floor to first floor showing  
second floor setback line and adjacent  
property fence and deck at 906 Springfield



000007



View from second floor to first floor showing second floor setback line and adjacent property at 906 Springfield.

000008

Facing East from second floor of 903 Springfield



000009

Facing North to adjacent property at 906 Springfield from second floor view.



000010

Facing Northeast toward 906 Springfield deck from second floor of  
903 Springfield

000011

View towards adjacent property owner at 906 Springfield from second floor  
of 903 Springfield



000012

View towards adjacent prop[erty owner at 906  
Springfield from second floor of 903 Springfield



000013

View facing north showing the first and second floor horizontal addition with story poles



000014