

**PLANNING COMMISSION
AGENDA REPORT**



**CITY OF MILLBRAE
621 Magnolia Avenue
Millbrae, CA 94030**

<p>SUBJECT: DESIGN REVIEW PERMIT application to allow a first story renovation and addition and the construction of a new second story to an existing single-story residence in a Single-Family Residential (R-1) Zoning District (Public Hearing).</p> <p>ATTACHMENTS:</p> <ol style="list-style-type: none"> 1. Resolution No. 21-11 2. Conditions of Approval 3. Project Description 4. Neighbor Consultation Forms 5. Site Photos 6. Project Plans 7. Color & Material Samples 	Report No. 4b
	For Agenda of: June 21, 2021
	Address: 5 Conejo Drive
	Department: Community Development
	Originator: Nestor Guevara, Associate Planner
	Approved: Roscoe Mata, Planning Manager
	Property Owner: Cindy Wong
	Applicant: Jared Kuykendall
	Application submittal date: February 23, 2021
	Application deemed complete date: May 17, 2021 Prior Planning Commission meeting date(s): none

<p>REPORT TYPE: <input checked="" type="checkbox"/> ACTION <input type="checkbox"/> INFORMATIONAL</p> <p>ITEM TYPE: <input type="checkbox"/> CONSENT <input checked="" type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> EXISTING BUSINESS <input type="checkbox"/> NEW BUSINESS</p>

EXECUTIVE SUMMARY

The proposed project involves first story addition and renovation and a new 589 square foot second story to an existing single story residence. The proposal is subject to Planning Commission design since it is a second story addition over 500 square feet.

The existing property is a single-story home on a 10,300 square foot interior lot. The 2,529 square feet gabled roof with dormer home contains four bedrooms, two bathrooms, a living room, a kitchen, a dining room, a family room, a foyer, laundry space, a covered porch, and an attached 2-car garage. The existing roof pitch is a combination of 4.5:12, 7:12, and 3:12.

The proposed home would be a two-story contemporary ranch style home. The proposed first story would include two bedrooms, three bathrooms, a kitchen, a dining room, a living room, a family room, a powder room, an office, a pantry room, an entry, and an attached two-car garage. The proposed second story would include two bedrooms and two bathrooms. The proposed roof pitch would be 3:12.

The FAR will increase from 34% to 54% (55% is the allowable maximum). The lot coverage would increase from 26% to 33% (50% is the allowable maximum).

RECOMMENDATION

Staff recommends that the Planning Commission review the project, consider the public testimony and the Findings, as presented, and consider adopting the attached Resolution approving a first story renovation and addition and the construction of a new second story to an existing single-story residence in a Single-Family Residential (R-1) Zoning District, subject to the attached Conditions of Approval.

LOCATION AND SURROUNDING USES

The project site is located in the Mills Estate neighborhood. Conejo Drive is a neighborhood street that connects Manzanita Drive and Vallejo Drive. The 10,300 square foot (sf) interior lot, contains a 2,529 sf home, including a two-car attached garage, is zoned Single-Family Residential (R-1) and identified in the General Plan as Low Density Residential.

Project Address: 5 Conejo Drive					
	Site	North	South	East	West
General Plan	Low Density Residential				
Zoning	R-1	R-1	R-1	R-1	R-1

PROPOSAL

The proposed project includes the renovation and addition to an existing single-story residence, as well as the addition of a new second story. The proposed first story would include two bedrooms, three bathrooms, a kitchen, a dining room, a living room, a family room, a powder room, an office, a pantry room, an entry, and an attached two-car garage. The proposed second story would include two bedrooms and two bathrooms. The proposed roof pitch would be 3:12.

Building Height would increase from 18' to 25' 6". The existing front setback is 18'9", where 20' is the minimum front yard setback in R-1 zone. There is no change to the existing front setback, and no work proposed to the part of the house, meaning it is an existing non-conforming condition that can continue. All other ground floor and upper story setbacks are met. The proposed 2-car garage satisfies the required covered parking per Zoning Code. The proposal complies with all other R-1 Zone development standards.

The existing home measures 2,529 square feet, including the attached garage. The proposed home would increase the total square footage to 3,981. The FAR will increase from 34% to 54% (55% is the allowable maximum). The lot coverage would increase from 26% to 33% (50% is the allowable maximum).

ISSUES & ANALYSIS

The proposed new construction complies with minimum and maximum development standards as follows (existing non-conforming in *italics*; proposed non-compliant in bold *italics*):

Corner Lot	Requirement	Existing	Proposed
Building Setbacks			
1 st Floor Front Setback	20 Ft.	18 Ft. 9 In.	No Change
1 st Floor Side Setback EXTERIOR	10 Ft.	14 Ft.	16 Ft. 6 In.
1 st Floor Side Setback INTERIOR	5 Ft.	8 Ft. 2 In.	5 Ft.
1 st Floor Rear Setback	10 Ft.	59 Ft. 5 In.	48 Ft.
2 nd Floor Front Setback	10 Ft.	N/A	14 Ft. 9 In.
2 nd Floor Side Setback EXTERIOR	10 Ft.	N/A	18 Ft. 10 In.
2 nd Floor Side Setback INTERIOR	10 Ft.	N/A	10 Ft. 6 In.
	Gross Area	Existing	Proposed
Site Area	10,300 SF	10,300 SF	No Change
Maximum Lot Coverage	50% (5,150 SF)	26% (2,689 SF)	33% (3,373 SF)
Maximum Floor Area Ratio	55% (4,052 SF)	34% (2,529 SF)	54% (3,981 SF)
Maximum Building Height	30 Ft.	18 Ft.	25 Ft. 6 In.
Minimum Rear Yard Open Space	1,000 SF	3,556 SF	No Change
Enclosed Parking	2 Garage Spaces	2 Garage Spaces	No Change

Design Review

Section 10.05.1150 (Architectural, Landscaping and Site Plan Consideration) of the Millbrae Municipal Code requires Design Review, pursuant to the City's adopted Residential Design Guidelines, for significant alterations to an existing development. The Design Guidelines include generalized review criteria that seek to integrate additions into the existing character of the structure and neighborhood, while respecting the privacy, views, and solar access of neighboring properties.

The existing home is a single-story ranch style home similar to other buildings in the neighborhood. The front exterior is a red siding, with white siding and shutters, wood doors, white wood garage doors with brick features on either side of the garage doors. The roof is a gabled roof type with dormers. The existing roof pitch is a combination of 4.5:12, 7:12, and 3:12.

The proposed exterior finishes will be a combination of varying grey stuccos, a stone base by the front of the house, accent cladding and trim siding for the front door and garage doors, and asphalt shingle roof. The proposed roof pitch ratio will be 3:12.

Neighborhood Character

The majority of homes in the area are one and two story homes, and are generally ranch style with cross hipped and cross gabled roof designs. The existing residence is situated on a neighborhood street that connects Manzanita Drive and Vallejo Drive. There are no views of the San Francisco Bay from the existing property. The subject building was built in 1963.

Parking

The project site contains an existing 480 square foot two-car, enclosed and attached garage. The proposed plan provides an attached 510 square foot garage. Pursuant to section 10.05.2100 of the Zoning Ordinance, two garage spaces are required per single-family-dwelling. The proposed enclosed parking of 510 square feet provided on the site exceeds the 400 square feet required by the Zoning Ordinance and conforms to the recommended parking guidelines of two-enclosed spaces.

Public Notice Requirement

The City of Millbrae Community Development Department follows legally required public noticing requirements outlined in the Municipal Code Section 10.05.2900 including: publishing the Planning Commission meeting date not less than ten days prior to the hearing, in a newspaper of general circulation in the city and mailing notice cards to property owners within a 300 foot radius of the subject property. In addition, ten days prior to the hearing, staff posts notices in at least three public places along the street and stakes a notice placard on the subject property. At least three days before the meeting, staff posts the project meeting date on the City website Planning Commission calendar; and on the bulletin boards at City Hall and the Millbrae Public Library.

Neighborhood Response

In accordance with the City of Millbrae Community Development Departments’ Submittal Requirements for Residential Development to notify each adjacent property owner abutting the project site, a total of 6 Proof of Neighbor Consultation forms from the adjacent residences have been submitted as follows:

Response	#	Address	Date Applicant Sent	Date Received by Staff
Support	3	10 Conejo 15 Conejo 20 Conejo	2/2/21 2/1/21 2/2/21	2/22/21 2/22/21 2/22/21
Oppose	0			
Unreturned	3	1319 Manzanita 1325 Manzanita 1340 Manzanita	2/3/21 2/3/21 2/3/21	

REQUIRED FINDINGS

Design Review Permit

Pursuant to Section 10.05.2500(C)(2) of the Millbrae Municipal Code the design review application materials shall be evaluated by the Planning Commission. The following findings are required, under this section of the code, for the Planning Commission to approve the requested Design Review Permit:

a. The architectural, landscaping, and general appearance of the proposed building or structure and grounds are in keeping with the character of the neighborhood;

The neighborhood contains a mix of one and two story ranch style homes with gable or hipped roofs, and some dormers. There is also some contemporary ranch style homes found on Conejo Drive. The proposed house would be in a contemporary ranch style, similar to that found on 25 Conejo. Like other properties in the neighborhood, the proposed house contains abundant landscaping in the front yard to meet the landscaping requirements. The site contains an existing spruce tree in the front yard, at the intersection of Conejo Drive and Mazanita Drive, as well additional tree and landscape coverage on the street side yard, both which will remain.

The existing home is a single-story ranch style home similar to other buildings in the neighborhood. The front exterior is a red siding, with white siding and shutters, wood doors, white wood garage doors with brick features on either side of the garage doors. The roof is a gabled roof type with dormers. The existing roof pitch is a combination of 4.5:12, 7:12, and 3:12.

The proposed house will be a contemporary ranch style home. The proposed exterior finishes will be a combination of varying grey stuccos, a stone base by the front of the house, accent cladding and trim siding for the front door and garage doors, and asphalt shingle roof. The proposed roof pitch ratio will be 3:12.

b. The project complies with all applicable development regulations;

The subject property is a corner lot and with an existing non-conforming front setback that is to remain. No work is proposed to the non-conforming portion of the property. The proposed project meets all other ground floor and upper story setbacks, floor area and height requirements. The proposed project would include the renovation and a 715 square foot addition to the first story, as well as a new 589 square foot second story. FAR will increase from 34% to 54% (55% is the allowable maximum) and the lot coverage would increase from 26% to 33% (50% is the allowable maximum). Pursuant to section 10.05.2100 of the Zoning Ordinance, two garage spaces are required per single family residence. The provided garage spaces meets the parking requirements for the R-1 Zone.

c. The project will not cause a significant visual impact to neighboring views from principal rooms of a residence (unless it is proven by the applicant that there is no other viable or cost-effective alternative);

Based on staff site visit, plan review and neighbor responses, staff found that the project meets the intent of the design review guidelines and would not cause any negative visual impact to neighbors. The building height would increase from 18' to 25'6". There are views of the San Francisco Bay along Manzanita Drive, but the addition would not have any effect on these views.

- d. The proposal is not detrimental to the orderly, harmonious and safe development of the city and will not impair the desirability of investment or occupation in the neighborhood in which the building or structure is proposed to be erected.**

The proposed project complies with all standards as identified in the Zoning Code and will be required to comply with all applicable building and fire safety codes. Therefore, based upon the above findings, the addition will not decrease the desirability of the neighborhood or disrupt the orderly development of the City.

ENVIRONMENTAL REVIEW

This project has been determined to be Categorically Exempt pursuant to Section 15301 Class 1 (e) (2) of the California Environmental Quality Act that allows for an addition to an existing structure provided that the addition will not result in an increase of more than 10,000 square feet if (A) the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and (B) the area in which the project is located is not environmentally sensitive. The project meets both conditions. The subject property and/or structure is not listed on the California or National Register for historic resources or is associated with any person of historical importance.

PLANNING COMMISSION ACTION:

Staff recommends that the Planning Commission review the project, consider the public testimony and the Findings, as presented, and consider adopting the attached Resolution to allow a first story renovation and addition and the construction of a new second story to an existing single-story residence in a Single-Family Residential (R-1) Zoning District, subject to the attached Conditions of Approval.

RESOLUTION NO. 21-11

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILLBRAE
APPROVING THE DESIGN REVIEW PERMIT FOR A FIRST STORY RENOVATION
AND ADDITION AND A NEW SECOND STORY AT A SINGLE-STORY RESIDENCE
IN A RESIDENTIAL (R-1) ZONING DISTRICT AT 5 CONEJO DRIVE . (PUBLIC
HEARING)**

CITY OF MILLBRAE

WHEREAS, the applicant has filed PA-2021-0068 to request the approval to allow a first story renovation and addition and the construction of a new second story to an existing single-story residence in a Single-Family Residential (R-1) Zoning District at 5 Conejo Drive, subject to the attached Conditions of Approval; and

WHEREAS, the proposal will consist first story addition and a new 589 second story; and

WHEREAS, the Planning Commission found that this project is consistent with the City's General Plan, Development Code, and has determined that the project is categorically exempt per Section 15301 Class 1 (e) (2) of the California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, this Planning Commission, having considered the evidence received at the public hearing duly noticed, desires to recommend approval of the project in the manner proposed and referenced above and in accordance with the following findings;

Design Review Permit:

- a. The architectural, landscaping, and general appearance of the proposed building or structure and grounds are in keeping with the character of the neighborhood;**

The neighborhood contains a mix of one and two story ranch style homes with gable or hipped roofs, and some dormers. There is also some contemporary ranch style homes found on Conejo Drive. The proposed house would be in a contemporary ranch style, similar to that found on 25 Conejo. Like other properties in the neighborhood, the proposed house contains abundant landscaping in the front yard to meet the landscaping requirements. The site contains an existing spruce tree in the front yard, at the intersection of Conejo Drive and Mazanita Drive, as well additional tree and landscape coverage on the street side yard, both which will remain.

The existing home is a single-story ranch style home similar to other buildings in the neighborhood. The front exterior is a red siding, with white siding and shutters, wood doors, white wood garage doors with brick features on either side of the garage doors. The roof is a gabled roof type with dormers. The existing roof pitch is a combination of 4.5:12, 7:12, and 3:12.

The proposed house will be a contemporary ranch style home. The proposed exterior finishes will be a combination of varying grey stuccos, a stone base by the front of the house, accent cladding and trim siding for the front door and garage doors, and asphalt shingle roof. The proposed roof pitch ratio will be 3:12.

b. The project complies with all applicable development regulations;

The subject property is a corner lot and with an existing non-conforming front setback that is to remain. No work is proposed to the non-conforming portion of the property. The proposed project meets all other ground floor and upper story setbacks, floor area and height requirements. The proposed project would include the renovation and a 715 square foot addition to the first story, as well as a new 589 square foot second story. FAR will increase from 34% to 54% (55% is the allowable maximum) and the lot coverage would increase from 26% to 33% (50% is the allowable maximum). Pursuant to section 10.05.2100 of the Zoning Ordinance, two garage spaces are required per single family residence. The provided garage spaces meets the parking requirements for the R-1 Zone.

c. The project will not cause a significant visual impact to neighboring views from principal rooms of a residence (unless it is proven by the applicant that there is no other viable or cost-effective alternative);

Based on staff site visit, plan review and neighbor responses, staff found that the project meets the intent of the design review guidelines and would not cause any negative visual impact to neighbors. The building height would increase from 18' to 25'6". There are views of the San Francisco Bay along Manzanita Drive, but the addition would not have any effect on these views.

d. The proposal is not detrimental to the orderly, harmonious and safe development of the city and will not impair the desirability of investment or occupation in the neighborhood in which the building or structure is proposed to be erected.

The proposed project complies with all standards as identified in the Zoning Code and will be required to comply with all applicable building and fire safety codes. Therefore, based upon the above findings, the addition will not decrease the desirability of the neighborhood or disrupt the orderly development of the City.

NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED BY THE PLANNING COMMISSION THAT:

1. The recitals set forth above are true and correct and are hereby incorporated herein by this reference and full set forth in their entirety.
2. The adoption of the Design Review Permit will not be detrimental to the public health, safety, and general welfare.
3. This resolution shall be effective immediately.

PASSED AND ADOPTED as a Resolution of the City of Millbrae Planning Commission at the public meeting held on the 21st day of June, 2021 by the following vote:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____

CHAIR

ATTEST:

SECRETARY

CONDITIONS OF APPROVAL

Project: 5 Conejo Drive

Date: June 21, 2021

GENERAL REQUIREMENTS:

1. This approval and all rights hereunder shall be effective for a period of one (1) year from the date of approval. The Planning Commission may extend this approval period, not to exceed three years, if a written request is made and submitted by the property owner prior to the expiration of the approval period (Section 10.05.2550) and a notice of a public hearing has been made pursuant to Section 10.05.2900 (D) of the Millbrae Municipal Code. Applicant shall photocopy these Conditions of Approval onto the building permit application, at time of submittal, to the Building Division.
2. Violation of any of the conditions of this permit shall be cause for the issuance of an infraction or citation, prosecution, and/or revocation and termination of all rights under the permit, by the City of Millbrae.
3. In the event of transfer of ownership of the property involved in this application, the new owner shall be fully informed of the use and development of said property as set forth by this permit together with all conditions, which are a part thereof. These specific requirements must be recorded with all title conveyance documents at time of closing escrow.
4. Site development, including landscaping, shall conform to the approved plans on file in the City of Millbrae Community Development Department. No significant changes shall be made to the approved plans without prior review and approval by the Planning Commission.
5. All landscaped areas must be maintained in a neat, healthy, and growing condition, including public parkways and street trees.
6. Front yard Landscaping Requirement: front yards are required to have 60% landscaping within the front 20 feet setback, measured from the front property line and no more than 40% allowed for paved driveway. The property owner is responsible for complying with this requirement. The landscaped area includes the walkway to the front door. R1 Single Family Residential District requires front yard landscape requirement (MMC Section 10.05.0620 G.2). NO PAVING of front vegetation strip adjacent to sidewalk permitted. Property owner is responsible for maintaining landscape vegetation strip adjacent to sidewalk and street.
7. The property shall be developed and maintained in a neat, quiet, and orderly condition and in a manner so as not to be detrimental to adjacent properties and occupants. This shall encompass the maintenance of the exterior facades of the building and all landscaping surrounding the building.

8. All structures shall conform to California Building Code requirements and all required permits from the City of Millbrae Building Division must be secured prior to initiating development under the terms of this permit.
9. Any off-site improvements found to be damaged shall be repaired and/or replaced as required by the City of Millbrae Director of Public Works.
10. All required utility easements shall be provided as indicated by the department or agency having jurisdiction.
11. The project shall comply with all applicable “City of Millbrae Public Works General Conditions of Approval” (copy provided to applicant). This condition includes project compliance with the Public Works Construction and Demolition Reuse and Recycling Requirements, including submittal of planning forms to the City’s Recycling Coordinator prior to issuance of a Building Permit.
12. Prior to the framing inspection, a licensed surveyor shall shoot the height of the roof ridge and certify in writing that the overall building height is per the approved plans. Said certification shall be submitted to the Building Division prior to the framing inspection being scheduled.
13. Development Impact Fees: Single family residence projects are subject to the following six development impact fees: Library Facilities, General Government Facilities, Recreation Services, Public Safety, Parks, Mobility and Administration fees. These fees are assessed upon new development projects to fully or partially offset the costs of public capital facilities and infrastructure that is needed to serve new demand created by development projects. Fees imposed on a residential development project with one unit are required to be paid prior to the date of the final inspection, or the date the certificate of occupancy is issued, whichever occurs first. For residential developments containing more than one unit, all fees must be paid when the first unit in the development receives its final inspection or certificate of occupancy, whichever occurs first. The Development Impact Fees are subject to annual indexing automatically adjusted on January 1st of each year in accordance with the change in the Engineering Construction Cost Index, as most recently published by Engineering News Record, for the previous calendar year. For more detailed information on Development Impact Fees please visit the City website link: <https://www.ci.millbrae.ca.us/departments-services/community-development/fees>.
14. Developers Fees for School Facilities: there are separate developer fees for school facilities both elementary and high school. All building permits for new buildings or additions over 500 square feet must pay developer’s fees to both the High School and Elementary School District as permitted by Government Code Section 53080. Please visit the following website to call for current fees and for payment: <https://www.ci.millbrae.ca.us/home/showpublisheddocument?id=17533>.

SPECIAL CONDITIONS:

A. Any proposed deviation from the Planning Commission approved plans/exhibits shall be shown to City staff for a determination of significance. All such deviations deemed significant by City staff shall be reviewed and approved by the Planning Commission and reflected in revised building plans prior to construction.

B. If any existing roof elements or exterior walls designated on the approved plans to remain should later need to be removed or in any way altered, the applicant shall first notify the Building Official before undertaking such work to ensure that the construction plans are revised accordingly. Depending upon the extent of such unanticipated work, Planning Commission approval, in the form of an amendment to this approval, may be required prior to revising the construction plans.

C. Prior to issuance of any building permits, all new construction shall comply with all applicable building and fire safety codes. This condition shall also apply to the alteration of existing construction in the event that such existing construction is not already fully code compliant.

D. Hours of construction are limited from Monday to Friday 7:30 A.M. to 7:00 P.M., Saturday 8:00 A.M. to 6:00 P.M., with Sunday and Holidays from 9:00 A.M. to 6:00 P.M.



Project: 5 Conejo Drive (Remodel and Addition)

Date: February 18, 2021

To whom it may concern:

The drawings and documents attached to this letter propose a renovation and horizontal/vertical addition of a second floor to an existing 1-story single-family residence located at 5 Conejo Drive (the corner of Conejo Drive and Manzanita Drive).

The existing 2,050 square foot single-story home is a ranch style “birdhouse” home constructed out of wood on a 10,300 square foot lot. There is an existing 479 square foot two-car garage, bringing the total square footage to 2,529 square feet. An additional 160 square feet of covered entry porch and trellised patio contribute to a total of 2,689 square feet of lot coverage.

The proposed project will consist of remodeling/reconfiguring the first floor, adding 788 square feet of living space and relocating and providing a new 535 square foot code compliant two-car garage, bringing the ground floor to a total of 3,373 square feet. With a new total lot coverage comes out to 3,373 square feet, the proposed project increases the overall lot coverage by 7%, from the existing 26% to 33% of the allowed 50%. The proposed ground floor will consist of a formal living room, open kitchen/family room, dining room, study, 2 bedrooms with en suite bathrooms, and 1.5 additional bathrooms.

The new addition of the second floor proposes 2 bedroom suites that totals 589 square feet. The new addition meets all required corner lot setbacks. The new second floor addition brings the total floor area to 3,962 square feet of the allowed 4,052 square feet, a 20% increase to the original FAR of 34% to 54% of the allowed 55%. A portion of the existing rear yard, approximately 2,933 square feet of the lot, has a slope of 30% or more, adjusting the lot area from 10,300 to 7,367 square feet.

The ground floor addition will match existing conditions, so only minimal adjustments to the existing grade will be necessary in order to provide appropriate on site drainage. The existing grass in the rear yard will be replaced with permeable artificial turf. The existing landscaping in the front yard will be replaced with drought tolerant plants and xeriscaping materials such as mulch and gravel.

The home owners and their family are looking forward to relocating to Millbrae, being closer to friends, and seeing their children grow and prosper.

Regards,

Jared Kuykendall, Architect, LEED-AP BD+C

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Milbrae, CA 94030

OFFICIAL USE

Certified Mail Fee \$3.60

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$10.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$1.60

Total Postage and Fees \$5.20

Sent To

Street and Apt. No., or PO Box No.
20 Conejo Dr
City, State, ZIP+4®
Milbrae CA 94030

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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OFFICIAL USE

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$1.60

Total Postage and Fees \$5.20

Sent To

Street and Apt. No., or PO Box No.
1314 Manzanita Dr
City, State, ZIP+4®
Milbrae CA 94030

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Postmark Here
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USPS 94015
02/03/2021

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Milbrae, CA 94030

OFFICIAL USE

Certified Mail Fee \$3.60

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$10.00
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Postage \$1.60

Total Postage and Fees \$5.20

Sent To

Street and Apt. No., or PO Box No.
1340 Manzanita Dr
City, State, ZIP+4®
Milbrae CA 94030

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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USPS 94015
02/03/2021

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Daly City, CA 94015

OFFICIAL USE

Certified Mail Fee \$3.60

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$10.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$1.40

Total Postage and Fees \$5.00

Sent To

Street and Apt. No., or PO Box No.
Jared Kuykendall
1618 Sullivan Ave #486
City, State, ZIP+4®
Daly City CA 94015

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Milbrae, CA 94030

OFFICIAL USE

Certified Mail Fee \$3.60

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$10.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$1.60

Total Postage and Fees \$5.20

Sent To

Street and Apt. No., or PO Box No.
1325 Manzanita Dr
City, State, ZIP+4®
Milbrae CA 94030

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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City, State, ZIP+4®
Milbrae CA 94030

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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0120 16
Postmark Here
FEB - 3 2021
DAILY CITY CA MAIN OFFICE
USPS 94015
02/03/2021

Proof of Neighbor Consultation

Certified mail receipts and signed adjacent owner forms received to date.

<p>5 CONEJO DRIVE MILLBRAE, CA</p>	<p>studio797 residential commercial design 1618 sullivan avenue #486 daly city, ca 94015 jared kuykendall / 415.871.9976</p>
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City of Millbrae

PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Cindy Wong, (owner/owner's agent), have met with the party listed below regarding a REMODEL AND ADDITION (type of permit(s)) for A SINGLE FAMILY / TWO STORY HOUSE (project description) at 5 CONEJO DRIVE (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

Cindy Wong

Date

Feb 9, 2021

THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

(Adjacent property owner to complete the following)

I, Dana Rich, own the property located at 20 Conejo Dr., Millbrae, CA. On 2/5/2021, the above proposal was shown to me and I received a copy of the plans.

I support the proposal as shown to me.

Signature

Dana Rich

Date

2/5/2021

I oppose the proposal as shown to me

Signature

Date

Dana Rich
Name

danaandtris@aol.com
Email

650 259 9954
Contact Number

Comments (optional):

November 2017



City of Millbrae
PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Cindy Wong, (owner/owner's agent), have met with the party listed below regarding a REMODEL AND ADDITION (type of permit(s)) for A SINGLE FAMILY / TWO STORY HOUSE (project description) at 5 CONEJO DRIVE (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature: Cindy Wong Date: Feb 1, 2021

THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

(Adjacent property owner to complete the following)

I, ANGELA SU, own the property located at 15 Conejo Dr, Millbrae, CA 94030. On 2/11/21, the above proposal was shown to me and I received a copy of the plans.

[X] I support the proposal as shown to me.

Signature: Angela Su Date: 2/11/21

[] I oppose the proposal as shown to me

Signature: Date:

Name: ANGELA SU Email: ANGELASU@HOTMAIL.COM Contact Number: 650-922-4067

Comments (optional):



City of Millbrae
PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Cindy Wong, (owner/owner's agent), have met with the party listed below regarding a REMODEL AND ADDITION (type of permit(s)) for A SINGLE FAMILY / TWO STORY HOUSE (project description) at 5 CONEJO DRIVE (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature: Cindy Wong, Date: Feb 2, 2021

THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

(Adjacent property owner to complete the following)

I, Joseph Cabrera, own the property located at 10 Conejo Dr, Millbrae, CA. On 2/8/21, the above proposal was shown to me and I received a copy of the plans.

[X] I support the proposal as shown to me. Signature: [Signature], Date: 2/8/21

[] I oppose the proposal as shown to me. Signature: _____, Date: _____

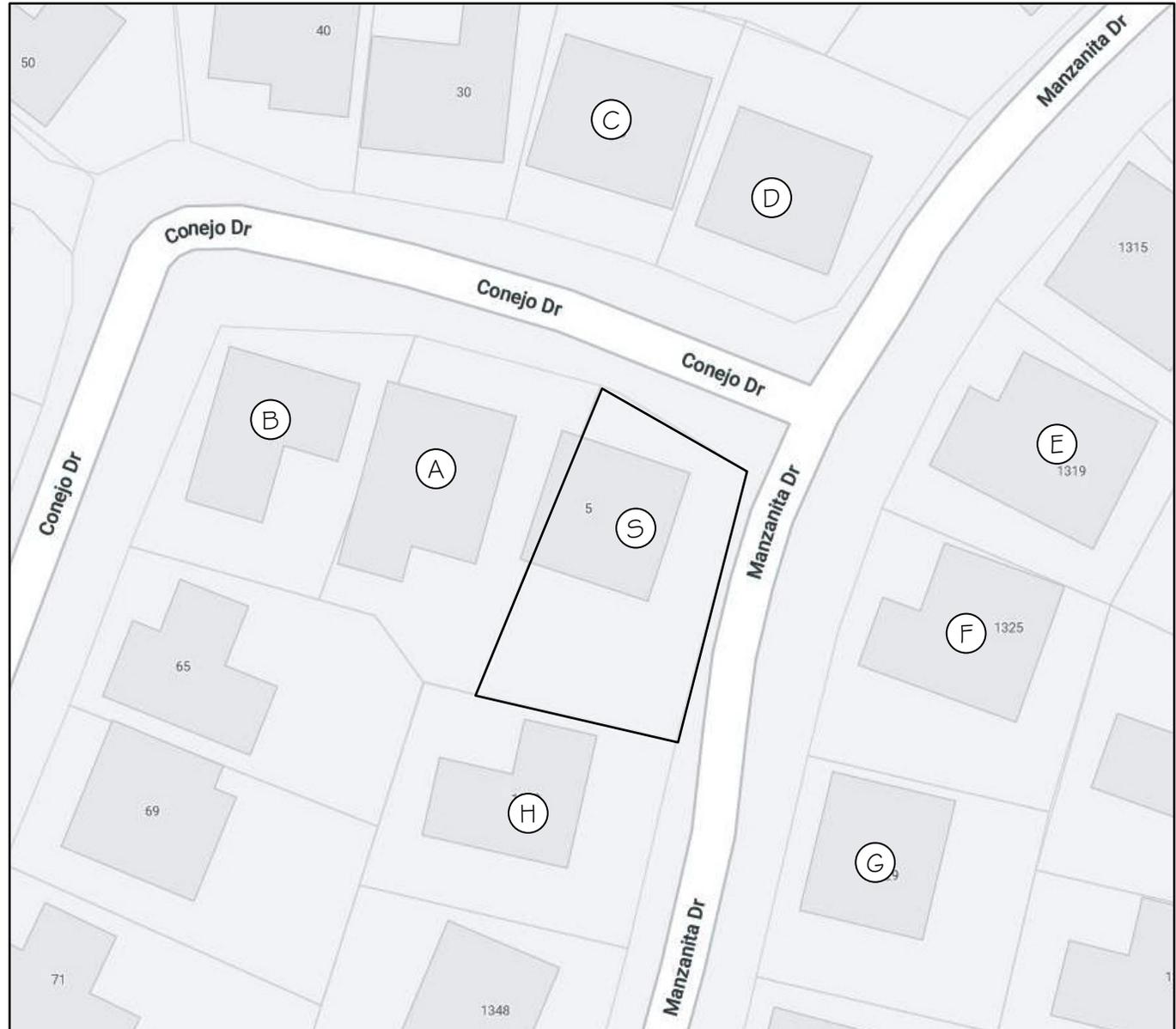
Name: Joseph Cabrera, Email: joc75@hotmail.com, Contact Number: 201.936.0108

Comments (optional): (5 Conejo) When the neighboring house to this address underwent their construction, a long construction truck (was allowed??) PARKED for almost 2 years (the length of construction) on the street. We hope this will not happen again in regards to parking.

November 2017

- Ⓐ 15 Conejo Drive
- Ⓑ 25 Conejo Drive
- Ⓒ 20 Conejo Drive
- Ⓓ 10 Conejo Drive
- Ⓔ 1319 Manzanita Drive
- Ⓕ 1325 Manzanita Drive
- Ⓖ 1329 Manzanita Drive
- Ⓗ 1340 Manzanita Drive

- Ⓢ 5 Conejo Drive
(Subject Property)



O	PHOTO KEY
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SITE PHOTOS	5 CONEJO DRIVE MILLBRAE, CA	 <small>residential commercial design</small> <small>1618 sullivan avenue #486</small> <small>daly city, ca 94015</small> <small>jared kuykendall / 415.871.9976</small>
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(A) 15 Conejo Drive



(B) 25 Conejo Drive



(C) 20 Conejo Drive



(D) 10 Conejo Drive



Ⓔ 1319 Manzanita Drive



Ⓕ 1325 Manzanita Drive



Ⓖ 1329 Manzanita Drive



Ⓖ 1340 Manzanita Drive



⑤ 5 Conejo Drive - Front Facade (from Conejo)



⑤ 5 Conejo Drive - Side Facade (Partial)



⑤ 5 Conejo Drive - Side Facade (from Manzanita)



⑤ 5 Conejo Drive - Rear Facade (Partial)

3	SUBJECT
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SITE PHOTOS	5 CONEJO DRIVE MILLBRAE, CA	studio797 residential commercial design 1618 sullivan avenue #486 daly city, ca 94015 jared kuykendall / 415.871.9976
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CAL GREEN MANDATORY MEASURES

- PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1).
- COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1).
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1). PROVIDE DOCUMENTATION.
- PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2). PROVIDE DOCUMENTATION AS REQUIRED.
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3). CONTRACTOR SHALL PROVIDE VERIFICATION AS REQUIRED.
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5). PROVIDE DOCUMENTATION.
- CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE. WOOD FRAMING SHALL HAVE MOISTURE CONTENT OF 19% MAX. (4.505.3).
- MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.
- CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALIFORNIA GREEN CODE SECTION 4.408.2. MIN. 65% OF WASTE SHALL BE REDUCED/DIVERTED. ALTERNATIVELY, CONTRACTOR MAY UTILIZE AN APPROVED WASTE MANAGEMENT COMPANY.
- UPON REQUEST, CONTRACTOR SHALL PROVIDE VERIFICATION DOCUMENTS TO SHOW SUBSTANTIAL CONFORMANCE WITH THE 2019 CALIFORNIA GREEN CODE REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE A BUILDING OPERATION AND MAINTENANCE MANUAL IN ACCORDANCE WITH CALIFORNIA GREEN CODE SECTION 4.410.1

CONSTRUCTION GENERAL NOTES

- ALL WORK IN PUBLIC RIGHT OF WAY SHALL BE PER THE CURRENT CITY STANDARDS AND SPECIFICATIONS.
- STORAGE OF MATERIALS AND EQUIPMENT IN THE PUBLIC RIGHT OF WAY IS NOT ALLOWED.
- CONTRACTOR SHALL REMOVE ALL DIRT AND DEBRIS FROM PUBLIC RIGHT OF WAY IMMEDIATELY AS A RESULT OF CONSTRUCTION ACTIVITY.
- CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO STARTING ANY WORK IN THE PUBLIC RIGHT OF WAY.
- CONTRACTOR SHALL IMPLEMENT AN APPROVED TEMPORARY SEDIMENT CONTROL PLAN.
- INSTALLATION DOCUMENTATION REQUIRED: A SET OF DOCUMENTS APPLICABLE TO THE CONSTRUCTION OF THIS PROJECT IS REQUIRED TO BE ASSEMBLED AND POSTED AT THE BUILDING SITE.

MECHANICAL GENERAL NOTES

- HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR SITE VERIFICATION AND PROPER ENGINEERING OF HVAC INSTALLATION.
- ALL NEW HVAC EQUIPMENT AND APPLIANCES TO BE INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
- HVAC SYSTEM TO PROVIDE CONSTANT, EVEN TEMPERATURE THROUGHOUT UNIT, CAPABLE OF MAINTAINING 70° F AT 36" A.F.F. DAMPERS TO BE ACCESSIBLE FOR NECESSARY ADJUSTMENTS. BALANCING OF SYSTEM TO BE PROVIDED AND COORDINATED WITH REGISTER PLACEMENT.
- LOCATION OF THERMOSTATS AS NECESSARY TO BE COORDINATED WITH OWNER.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE 2019 EDITION OF THE STATE OF CALIFORNIA BUILDING CODE AND MILLBRAE AMENDMENTS AND ALL OTHER APPLICABLE CODES. GOVERNING AUTHORITIES AND CODES TAKE PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
- MECHANICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2019 CMC; PLUMBING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2019 CPC; ELECTRICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA ELECTRICAL CODE AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST UNIFORM FIRE CODE. ALL CODES SHALL BE AS AMENDED BY THE STATE OF CALIFORNIA.
- VERIFY DIMENSIONS, GRADES, ELEVATIONS AND CRITICAL LOCATIONS, SUCH AS STRUCTURAL SUPPORTS, BEFORE COMMENCING WORK AFFECTED BY THEM. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL THOROUGHLY REVIEW PLANS AND EXISTING SITE CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES, ERRORS OR OMISSIONS PRIOR TO CONSTRUCTION.
- DURING CONSTRUCTION, REPORT ALL DISCREPANCIES AND/OR CONFLICTS IN THE DRAWINGS TO THE ARCHITECT IMMEDIATELY.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL WORK REQUIRED FOR A COMPLETELY FINISHED PROJECT.
- INSTALL ALL MATERIALS AND PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE ICBO REPORTS, FURNISH AND INSTALL ALL REQUIRED FOR A COMPLETE OPERATING SYSTEM.
- DIMENSIONS SHALL GOVERN ON WORKING DRAWINGS. DO NOT SCALE DRAWINGS.
- IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE NOTES, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
- ALL SHEET METAL FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF SMACNA, THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION MANUAL.
- NEITHER THE ARCHITECT, NOR THE OWNER SHALL BE RESPONSIBLE FOR: CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONTRACTOR; SAFETY PRECAUTIONS AND PROGRAMS OF CONTRACTOR; THE ACTS OR OMISSIONS OF CONTRACTOR; OR THE FAILURE OF CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE BUILDING OFFICIAL. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL PER SECTION 303 OF THE INTERNATIONAL BUILDING CODE AS AMENDED BY THE CALIFORNIA AMENDMENTS.
- THE ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR UNDERGROUND UTILITIES NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS. THE LOCATION OF EXISTING UNDERGROUND UTILITY FACILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTORS SHALL CONTACT THE RESPECTIVE UTILITY COMPANY & PROVIDE UTILITY LOCATION SERVICES AS REQUIRED TO OBTAIN THE EXACT DEPTH OF BURIAL AND HORIZONTAL LOCATION OF UTILITY LINES, CONDUITS, PIPING, ETC.. PRIOR TO PERFORMING UNDERGROUND CONSTRUCTION, THE CONTRACTORS SHALL MAKE THE NECESSARY PROBES AND EXPLORATION TO IDENTIFY AREAS OF POSSIBLE CONFLICT WITH THE PROPOSED WORK.

PLUMBING GENERAL NOTES

- PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR SITE VERIFICATION OF EXISTING CONDITIONS AND PROPER ENGINEERING OF PLUMBING INSTALLATION.
- ALL NEW PLUMBING FIXTURES AND FITTINGS TO BE INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
- PROVIDE AN R-6 INSULATION JACKET AT ALL WATER HEATERS. PRESSURE RELIEVE VALVES MUST BE PROVIDED PRIOR TO INSTALLATION OF THE JACKET. A MINIMUM OF THE FIRST 5' OF BOTH HOT AND COLD WATER PIPES SHALL BE INSULATED (1" THICK).
- EXISTING WATER SERVICE AND SEWER LATERAL REMAIN.



VIGNETTE SKETCH

DRAWING INDEX

ARCHITECTURAL SHEETS

A1.0	TITLE SHEET AND GENERAL NOTES
A1.1	COUNTY BMP'S AND CHECKLIST FOR SMALL PROJECTS
A2.0	EXISTING/DEMO AND PROPOSED SITE PLAN
A2.1	GENERAL SITE NOTES AND SITE DIAGRAMS
A3.0	EXISTING/DEMO FLOOR PLAN
A3.1	PROPOSED FIRST FLOOR PLAN
A3.2	PROPOSED SECOND FLOOR PLAN
A3.3	EXISTING AND PROPOSED FLOOR AREA CALCULATIONS
A4.0	PROJECT CONTEXT AND 3D PERSPECTIVE VIGNETTES
A4.1	EXISTING/DEMO AND PROPOSED ELEVATIONS
A4.2	EXISTING/DEMO AND PROPOSED ELEVATIONS
A4.3	EXISTING/DEMO AND PROPOSED ELEVATIONS
A4.4	EXISTING/DEMO AND PROPOSED ELEVATIONS
A5.0	BUILDING SECTIONS
A6.0	EXISTING/DEMO AND PROPOSED ROOF PLANS
A10.0	SITE SURVEY

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF:

REMODEL AND ADDITION TO AN EXISTING ONE-STORY SINGLE FAMILY RESIDENCE WITH (4) BEDROOMS AND TWO BATHROOMS WITH TWO CAR GARAGE. HORIZONTAL AND VERTICAL ADDITION TO PROVIDE (4) BEDROOMS + (1) STUDY AND (5.5) BATHS.

CODE REFERENCES:

ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE 2019 CALIFORNIA CODE OF REGULATIONS TITLE 24: BUILDING CODE (CBC); RESIDENTIAL BUILDING CODE (CRC); GREEN BUILDING CODE (GBC); ELECTRICAL CODE (CEC); MECHANICAL CODE (CMC); PLUMBING CODE (CPC); ENERGY CODE [2019 ENERGY STANDARDS] (CNC), WITH MILLBRAE MUNICIPAL CODE AMENDMENTS.

PROJECT DATA

ZONING	R-1, SINGLE FAMILY RESIDENTIAL	
APN	024-451-030	
OCCUPANCY	R-3	
CONSTRUCTION TYPE	V-B (NO CHANGE)	
REQUIRED SETBACKS	20'-0" (FRONT) / 10'-0" # 5'-0" (SIDE) / 10'-0" REAR)	
LOT AREA	± 10,300 SF	
LOT COVERAGE	± 5,150 SF (ALLOWED) [50%] ± 2,689 SF (EXISTING) [26%] ± 3,373 SF (PROPOSED) [33%]	
MAX F.A.R.	10,300-2,933 = 7,367 SF (ADJUSTED LOT AREA) 7,367 x 0.55 = 4,052 SF (ALLOWED) 2,529 SF (EXISTING) [34%] 3,981 SF (PROPOSED) [54%]	
PARKING	(2) COVERED + (2) UNCOVERED (EXISTING) (2) COVERED + (2) UNCOVERED (PROPOSED)	
AREA	EXISTING	PROPOSED
SECOND FLOOR	± 0 SF	± 589 SF
FIRST FLOOR	± 2,050 SF	± 2,765 SF
GARAGE	± 479 SF	± 535 SF
	± 2,050 SF	± 3,354 SF
	(CONDITIONED)	(CONDITIONED)
	± 2,529 SF	± 3,889 SF
		(TOTAL FLOOR AREA)

PARCEL MAP



VICINITY MAP



SEE CITY OF MILLBRAE SINGLE FAMILY RESIDENTIAL DESIGN REVIEW WORKSHEET, SHEET AO.2, FOR ADDITIONAL PROJECT DATA

ARCHITECT: JARED KUYKENDALL, LEED AP BD+C
STUDIO 797
1618 SULLIVAN AVENUE #486
DALY CITY, CA 94015
415.871.9976

SURVEYOR: B & H SURVEYING, INC.
901 WALTERMIRE STREET
BELMONT, CA 94002
650.637.1590

OWNER: CINDY WONG
5 CONEJO DRIVE
MILLBRAE, CA

studio797
residential | commercial | design | drafting
1618 sullivan avenue #486
dalby city, ca 94015
jared.kuykendall / 415.871.9976



INTERIOR REMODEL AND ADDITION:
5 CONEJO DRIVE
MILLBRAE, CA

PLANNING REVISION 1 - MARCH 18, 2021
TITLE SHEET, GENERAL NOTES,
AND ABBREVIATIONS

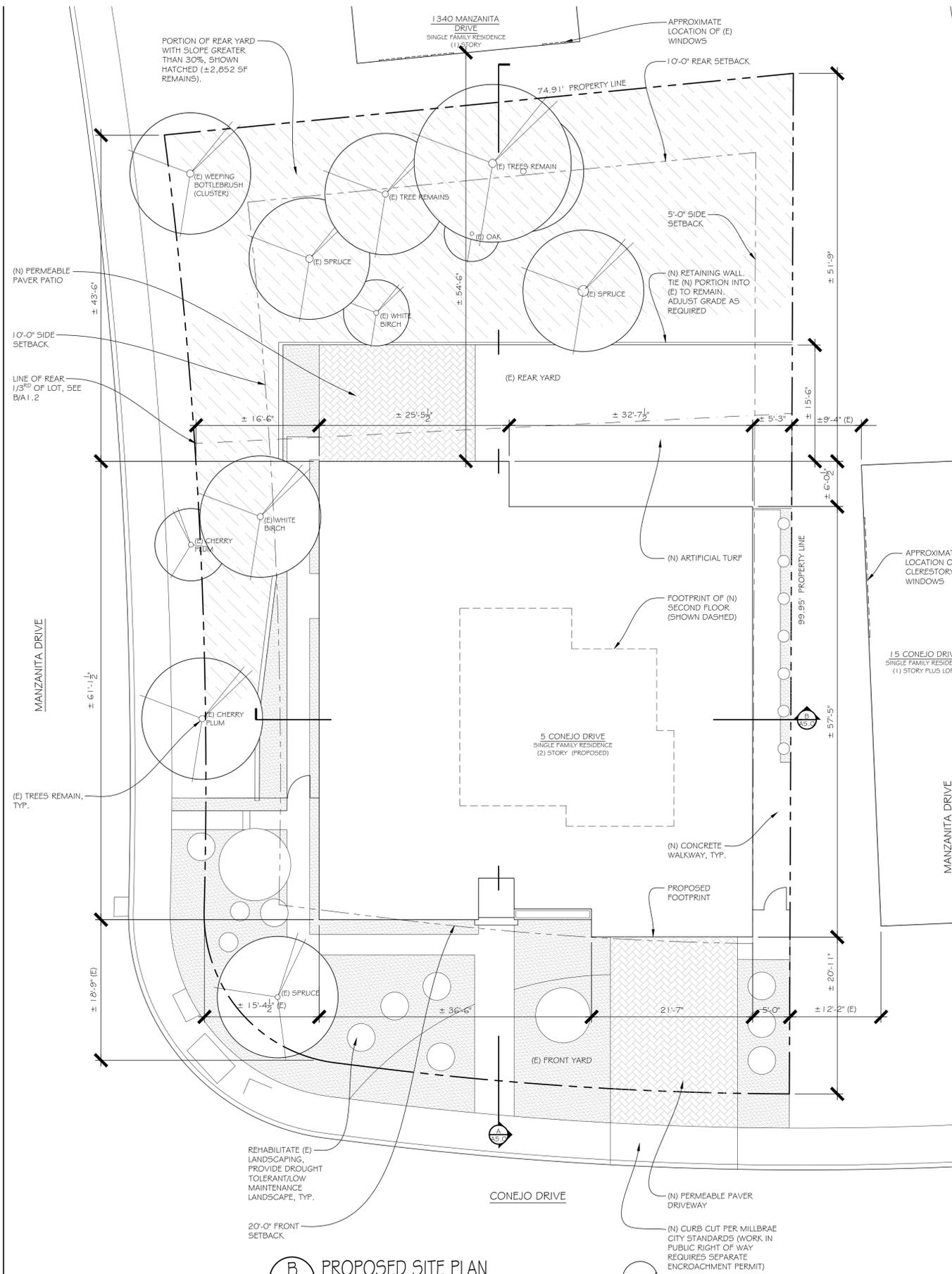
REVISIONS

ISSUE DATE
MARCH 18, 2021

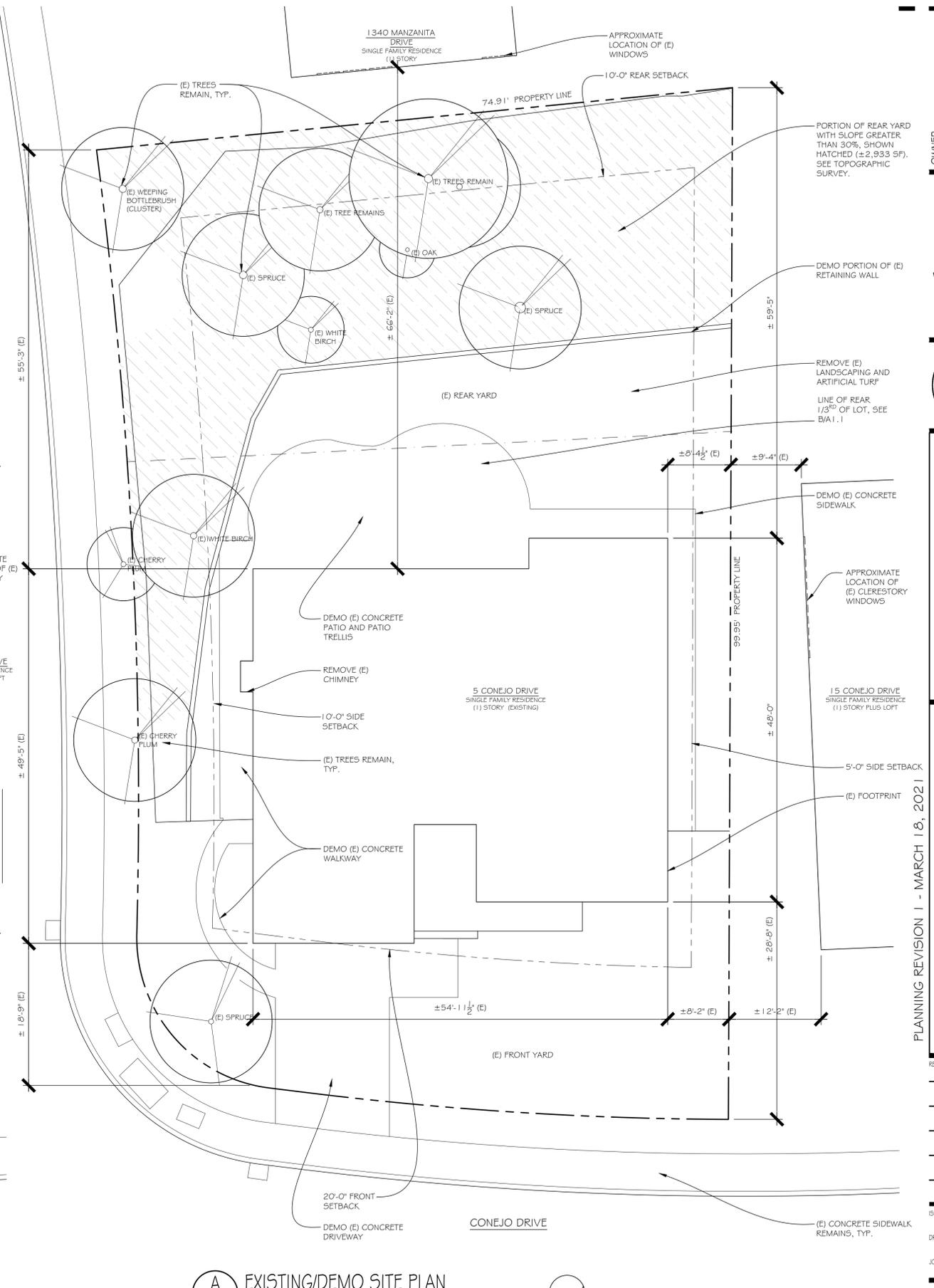
DRAWN BY
JMK

JOB NUMBER
SHL

A1.0



B PROPOSED SITE PLAN
 A2.0
 1. SEE A1.1 FOR APPLICABLE CONSTRUCTION BMP REQUIREMENTS
 2. SEE A2.1 FOR GENERAL SITE NOTES AND LANDSCAPE DIAGRAMS/CALCULATIONS
 1/8" = 1'-0"
 NORTH



A EXISTING/DEMO SITE PLAN
 A2.0
 1. SEE A1.0 FOR TOPOGRAPHIC SURVEY.
 2. SEE A2.1 FOR GENERAL SITE NOTES AND LANDSCAPE DIAGRAMS/CALCULATIONS
 1/8" = 1'-0"
 NORTH

OWNER: CINDY WONG
 5 CONEJO DRIVE
 MILLBRAE, CA

studio797
 residential | commercial | design | drafting
 1618 sullivan avenue #486
 day city, ca 94015
 jared.kuykendall / 415.871.3976

JARED MARK KUYKENDALL
 LICENSED ARCHITECT
 EX. 089021
 STATE OF CALIFORNIA

INTERIOR REMODEL AND ADDITION:
5 CONEJO DRIVE
 MILLBRAE, CA

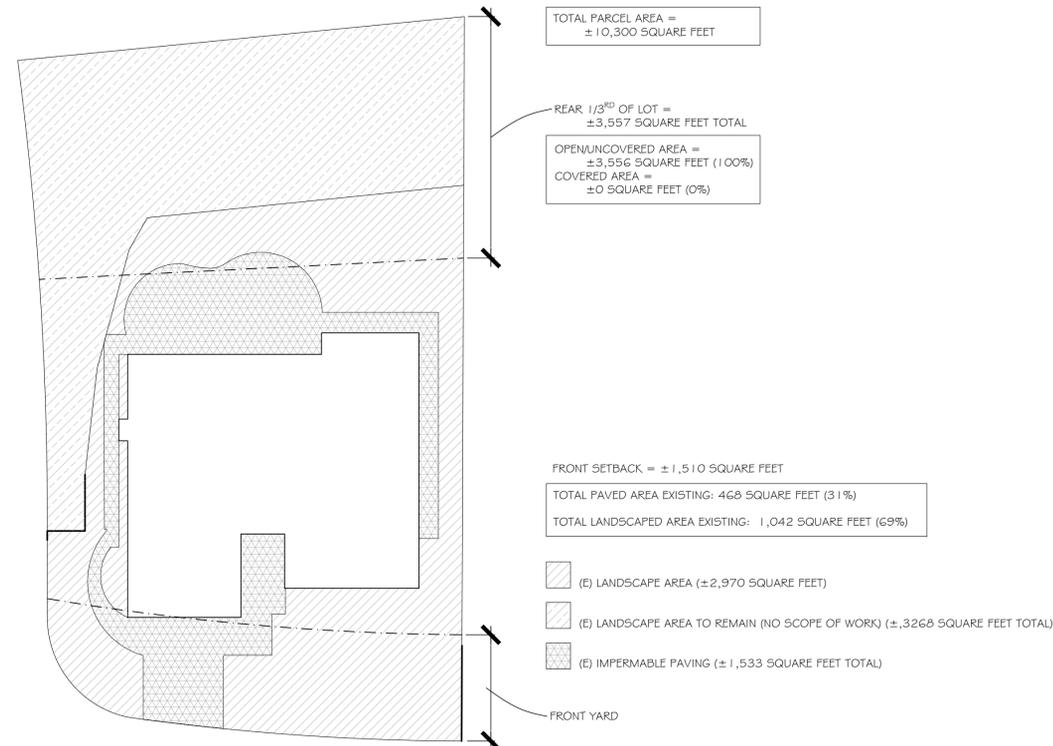
PLANNING REVISION 1 - MARCH 18, 2021

EXISTING/DEMO AND PROPOSED
 SITE PLANS

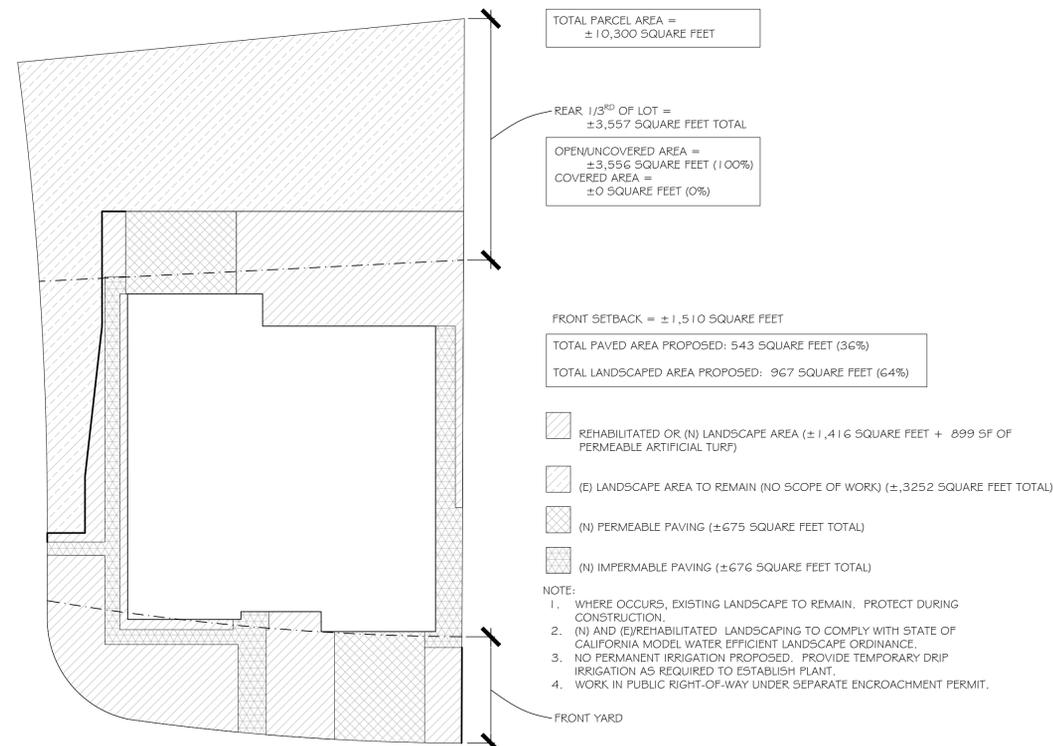
REVISIONS

ISSUE DATE: MARCH 18, 2021
 DRAWN BY: JMK
 JOB NUMBER: SML

A2.0



B (E) LANDSCAPE DIAGRAM
A2.1 1/16" = 1'-0" NORTH



B PROPOSED LANDSCAPE DIAGRAM
A2.1 1/16" = 1'-0" NORTH

- GRADING AND DRAINAGE NOTES**
1. UTILIZE ON-SITE INFILTRATION AS MUCH AS POSSIBLE TO HANDLE ROOF AND SITE DRAINAGE.
 2. DIRECT SITE DRAINAGE SO THAT STORM WATER WILL FLOW TO ON-SITE LAWN OR PREVIOUS LANDSCAPED AREAS AS INDICATED WITHOUT CREATING PONDING OR EROSION.
 3. ALL DOWNSPOUTS (DS) SHALL BE CONNECTED TO SPLASH BLOCKS MINIMUM 2'-0" LONG AND SITUATED TO DEFLECT WATER AWAY FROM THE BUILDING AND FLOW TO ON-SITE LAWN OR PREVIOUS LANDSCAPED AREAS. ARROWS USED TO INDICATE DIRECTION FLOW OF WATER.
 4. MINIMIZE EXCESSIVE WATER FLOW AROUND EXISTING TREES.
 5. NO CONCENTRATED FLOW IS ALLOWED TO TRAVEL OVER ANY SIDEWALKS OR PARKING STRIP AREAS.
 6. THE STORM RUNOFF GENERATED BY THE NEW DEVELOPMENT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.
 7. STORM WATER FROM ALL IMPERVIOUS SURFACES THAT IS NOT TO BE HANDLED BY ON-SITE INFILTRATION SHALL BE ROUTED THROUGH VEGETATED SWALES OR OTHER COMPARABLE BEST MANAGEMENT PRACTICES (BMP) PRIOR TO DISCHARGE TO THE PUBLIC STORM DRAIN SYSTEMS.
 8. THE MINIMUM SLOPE ADJACENT TO THE STRUCTURE FOR DRAINAGE IS 5% SLOPING AWAY FROM THE STRUCTURE FOR A MINIMUM OF 10'-0".
 9. THE GRADING AND DRAINAGE DESIGN FOR THE PROJECT SHALL COMPLY WITH ALL APPLICABLE NPDES REGULATIONS TO CONTROL STORM WATER POLLUTION.

- LANDSCAPE GENERAL NOTES**
1. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO COMPLETE PROPOSED WORK PER CITY REQUIREMENTS.
 2. CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, SITE IMPROVEMENTS, WATERPROOFING AND UNDERGROUND PIPING BEFORE CONSTRUCTION BEGINS. THE ARCHITECT ASSUMES NO LIABILITY FOR DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES OR PROBLEMATIC SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
 3. WORK WITHIN THE RIGHT OF WAY IS SUBJECT TO INSPECTION AND APPROVAL BY THE CITY. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM PUBLIC WORKS DEPARTMENT PRIOR TO WORK WITHIN THE RIGHT OF WAY. THIS WORK MAY INCLUDE LANDSCAPING IN THE RIGHT OF WAY, NEW CURB DRAINS, AND PARKING STRIP.
 4. FINISHED GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SHALL BE PROPERLY INSTALLED TO PREVENT ANY STANDING WATER. ALL HARDSCAPE SHALL HAVE A MINIMUM GRADE OF 2% UNLESS NOTED OTHERWISE. JUTE MESH EROSION CONTROL NETTING SHALL BE USED ON ALL 3:1 OR GREATER SLOPES & STAKED APPROPRIATELY.
 5. CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING TREES BY INSTALLING TEMPORARY FENCING AROUND THE TREES AS CLOSE AS POSSIBLE TO THE DRIPLINE. IN THE EVENT THAT TREE ROOTS OVER 6" ARE DISCOVERED, THE ARCHITECT SHOULD BE CONTACTED.
 6. CONTRACTOR SHALL REFER TO ARCHITECTURAL, CIVIL, & OTHER ENGINEERING DRAWINGS / DOCUMENTS FOR WORK IN RELEVANT AREAS.
 7. THE ARCHITECT MAY MAKE SITE OBSERVATIONS DURING CONSTRUCTION BUT SHALL NOT BE UTILIZED TO SUPERVISE CONSTRUCTION ONSITE.

- PLANTING NOTES**
1. LANDSCAPE CONTRACTOR SHALL VERIFY PLANT AND SOD QUANTITIES PRIOR TO SUBMITTING BID FOR WORK.
 2. ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST STANDARDS OF NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 3. PLANT MATERIAL CANNOT BE GUARANTEED AS DEER RESISTANT DUE TO CHANGING HABITS OF DEER.
 4. ALL PLANTING AREAS SHALL BE COVERED WITH A LAYER OF BARK MULCH TO A MINIMUM DEPTH OF 3 INCHES, WITH A CHIP SIZE OF NO LESS THAN ONE INCH. A 2 INCH LAYER OF GREENWASTE MULCH UNDER THE BARK MULCH IS RECOMMENDED.
 5. SOIL AMENDMENTS SHALL BE USED AS NECESSARY. SOIL AMENDMENT SHALL BE FREE OF DEBRIS. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS ARE NOT PERMITTED IN TYPICAL NATIVE PLANT LANDSCAPE AREAS.
 6. PLANTING HOLES SHALL GENERALLY BE 2X - 3X THE SIZE OF THE ROOT BALL. THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH 5% ORGANIC COMPOST & 95% EXISTING SOIL. PLANTING HOLES OF NATIVE PLANT MATERIAL SHOULD BE INOCULATED WITH MYCORRHIZAL FUNGI, PER MANUFACTURER'S SPECS.
 7. TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIA. POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.
 8. RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR AS NECESSARY. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
 9. LAWN SHALL NOT BE INSTALLED ON SLOPES GREATER THAN 25%. ALL TURF AREAS SHALL BE FERTILIZED AT TIME OF INSTALLATION.
 10. (N) AND (E) REHABILITATED LANDSCAPING TO COMPLY WITH STATE OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
 11. NO PERMANENT IRRIGATION PROPOSED. PROVIDE TEMPORARY DRIP IRRIGATION AS REQUIRED TO ESTABLISH PLANT.

PLANNING REVISION 1 - MARCH 18, 2021

SITE PLAN NOTES AND CALCULATIONS

OWNER: CINDY WONG
5 CONEJO DRIVE
MILLBRAE, CA

studio797
residential | commercial | design | drafting
1618 sullivan avenue #486
day city, ca 94015
jared.kuykendall / 415.871.9976



INTERIOR REMODEL AND ADDITION:
5 CONEJO DRIVE
MILLBRAE, CA

ISSUE DATE: MARCH 18, 2021
DRAWN BY: JMK
JOB NUMBER: SHL

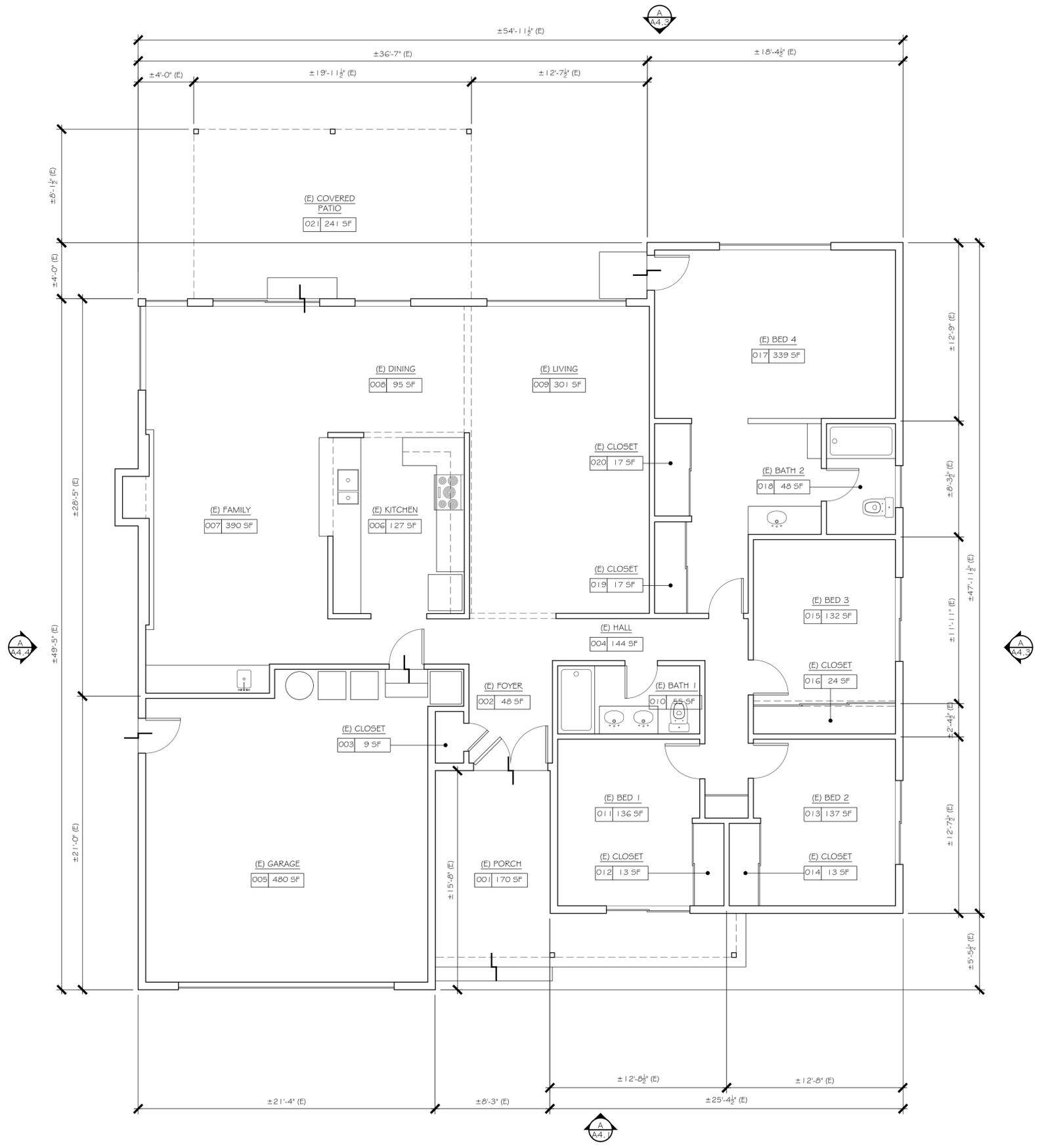
A2.1

FLOOR PLAN GENERAL NOTES

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- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS OR LINES. ALL SCREWS OR OTHER ATTACHMENT DEVICES SHALL BE PATCHED AND NOT VISIBLE. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ADJUST PARTITION THICKNESS AND CAVITY FOR INTERNAL INCLUSIONS, SUCH AS PLUMBING AND FOR CORRECT INSTALLATION OF FIXTURES, PANELS, BOXES, ETC. ALL EXPOSED GYPSUM BOARD EDGES TO HAVE METAL EDGE TRIM. ALIGNMENT ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE, AND IN PROPER ALIGNMENT.
- USE NON-ABSORBENT FINISH MATERIALS BELOW 72" IN BATHROOMS. INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- USE 4X10 DF/1 HEADERS IN ALL OPENINGS, WINDOWS & DOORS, U.O.N.
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- NEW AND RETROFIT WINDOWS SHALL BE MAXIMUM 0.32 U-FACTOR. NFRC TEMPORARY LABELING SHALL NOT BE REMOVED UNTIL AFTER INSPECTION. SEE ALSO SHEET T1 & T2.
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- WHERE A FORCE AIR FURNACE SHALL BE LOCATED IN ATTIC. PROVIDE A 30"x30" MIN. ACCESS TO ACCESS THE FURNACE. CONSTRUCT A 24" WIDE PLATFORM PATH FROM ACCESS OPENING TO FAU AND SPECIFY AN ELECTRICAL RECEPTACLE AT THE FAU AND A LIGHT SWITCHED AT THE ACCESS OPENING.
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 - MAX. SILL HEIGHT ABOVE FLOOR 44 INCHES.
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- HANDRAILS SHALL RETURN TO THE WALL, GUARD OR WALKING SURFACE.
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LEGEND

- EXISTING WALL TO REMAIN
- DEMO EXISTING WALL
- NEW WALL
- NEW 1-HOUR WALL



(E) FIRST FLOOR		
LABEL	ROOM	AREA
001	(E) COVERED PORCH	170 SQUARE FEET
002	(E) FOYER	48 SQUARE FEET
003	(E) CLOSET	9 SQUARE FEET
004	(E) HALL	144 SQUARE FEET
005	(E) GARAGE	480 SQUARE FEET
006	(E) KITCHEN	127 SQUARE FEET
007	(E) FAMILY	390 SQUARE FEET
008	(E) DINING	95 SQUARE FEET
009	(E) LIVING	301 SQUARE FEET
010	(E) BATH 1	55 SQUARE FEET
011	(E) BED 1	136 SQUARE FEET
012	(E) CLOSET	13 SQUARE FEET
013	(E) BED 2	137 SQUARE FEET
014	(E) CLOSET	13 SQUARE FEET
015	(E) BED 3	132 SQUARE FEET
016	(E) CLOSET	24 SQUARE FEET
017	(E) BED 4	339 SQUARE FEET
018	(E) BATH 2	42 SQUARE FEET
019	(E) CLOSET	17 SQUARE FEET
020	(E) CLOSET	17 SQUARE FEET
021	(E) PATIO	241 SQUARE FEET
TOTAL		2,936 SQUARE FEET

A
A3.0
EXISTING/DEMO FIRST FLOOR PLAN
1/4" = 1'-0" NORTH

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INTERIOR REMODEL AND ADDITION:
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JMK
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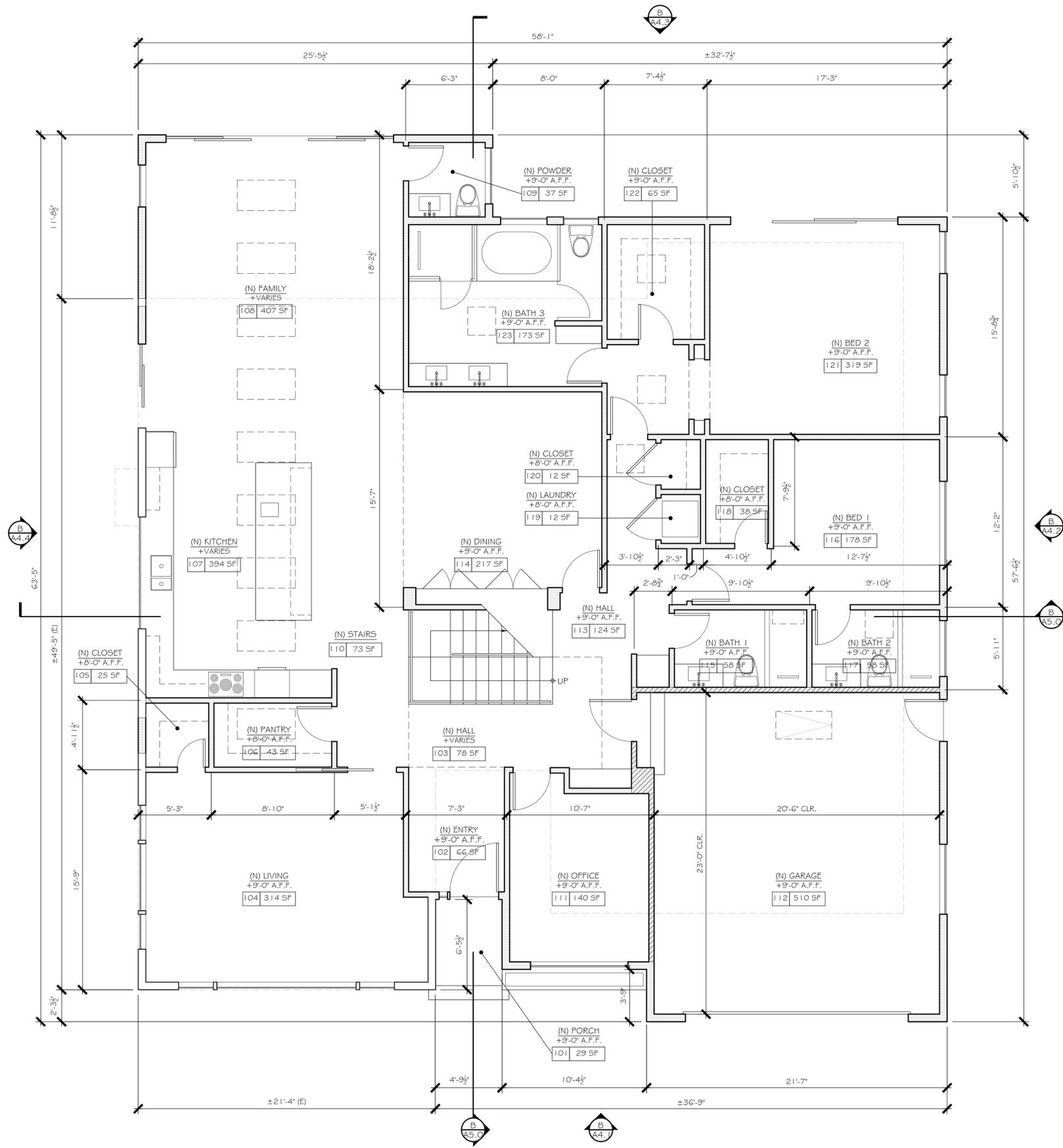
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LEGEND

- EXISTING WALL TO REMAIN
- DEMO EXISTING WALL
- NEW WALL
- NEW 1-HOUR WALL



(N) FIRST FLOOR (SEE A3.2)

LABEL	ROOM	AREA
101	COVERED PORCH	29 SQUARE FEET
102	(N) ENTRY	66 SQUARE FEET
103	(N) HALL	78 SQUARE FEET
104	(N) LIVING	314 SQUARE FEET
105	(N) CLOSET	25 SQUARE FEET
106	(N) PANTRY	43 SQUARE FEET
107	(N) KITCHEN	394 SQUARE FEET
108	(N) FAMILY	407 SQUARE FEET
109	(N) POWDER	37 SQUARE FEET
110	(N) STAIRS	73 SQUARE FEET
111	(N) OFFICE	140 SQUARE FEET
112	(N) GARAGE	510 SQUARE FEET
113	(N) HALL	124 SQUARE FEET
114	(N) DINING	217 SQUARE FEET
115	(N) BATH 1	58 SQUARE FEET
116	(N) BED 1	178 SQUARE FEET
117	(N) BATH 2	58 SQUARE FEET
118	(N) CLOSET	38 SQUARE FEET
119	(N) LAUNDRY	12 SQUARE FEET
120	(N) CLOSET	12 SQUARE FEET
121	(N) BED 2	319 SQUARE FEET
122	(N) CLOSET	65 SQUARE FEET
123	(N) BATH 3	173 SQUARE FEET
TOTAL		3,370 SQUARE FEET

PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0" NORTH

OWNER: CINDY WONG
 5 CONEJO DRIVE
 MILLBRAE, CA

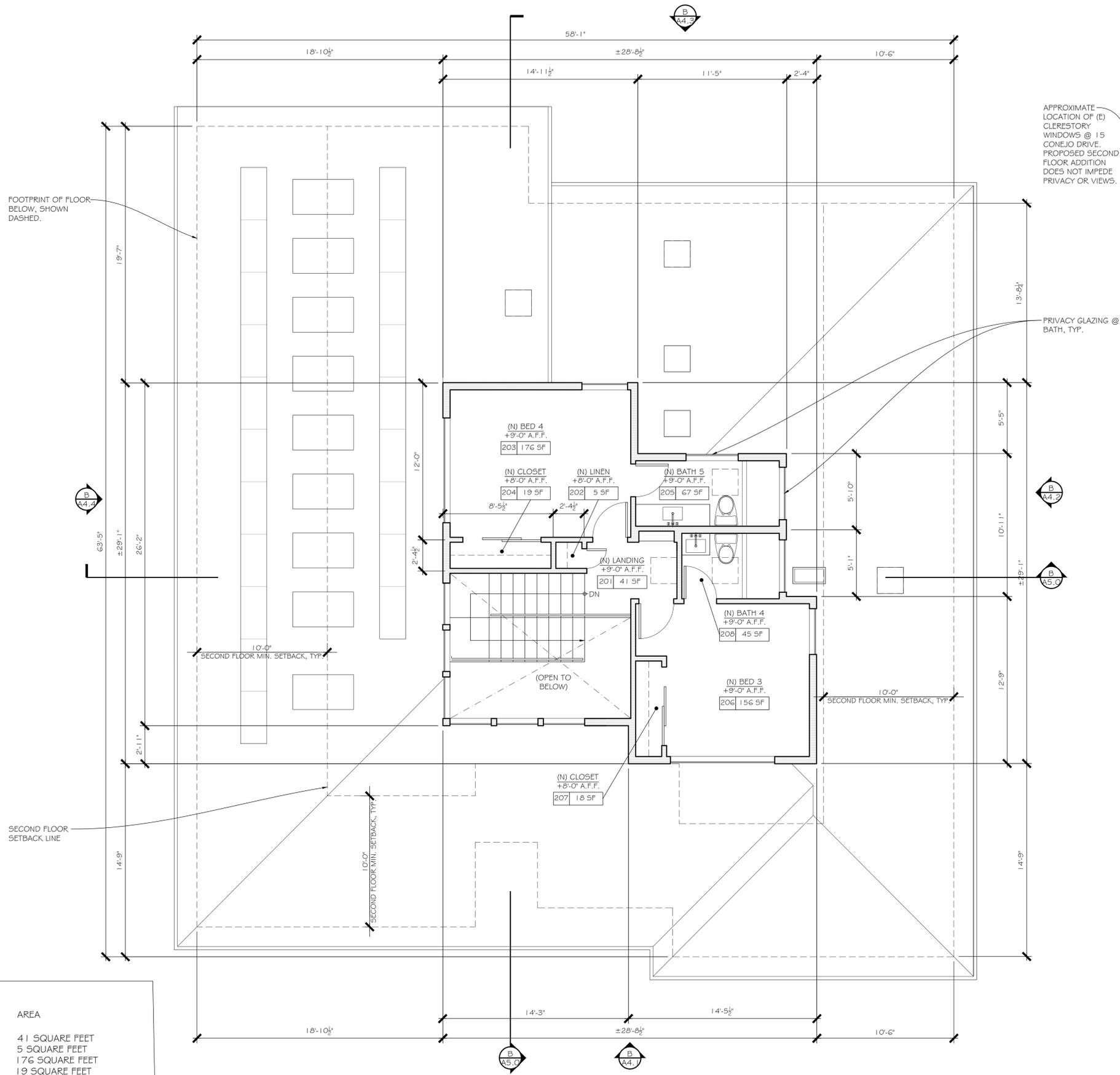


INTERIOR REMODEL AND ADDITION:
5 CONEJO DRIVE
 MILLBRAE, CA

PLANNING REVISION 1 - MARCH 18, 2021

ISSUE DATE: MARCH 18, 2021
 DRAWN BY: JMK
 JOB NUMBER: SHL

A3.1



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LEGEND

	EXISTING WALL TO REMAIN
	DEMO EXISTING WALL
	NEW WALL
	NEW 1-HOUR WALL

(N) SECOND FLOOR

LABEL	ROOM	AREA
201	(N) LANDING	41 SQUARE FEET
202	(N) LINEN	5 SQUARE FEET
203	(N) BED 4	176 SQUARE FEET
204	(N) CLOSET	19 SQUARE FEET
205	(N) BATH 5	67 SQUARE FEET
206	(N) BED 3	156 SQUARE FEET
207	(N) CLOSET	18 SQUARE FEET
208	(N) BATH 4	45 SQUARE FEET
TOTAL		527 SQUARE FEET

A3.2 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0" NORTH

OWNER:
CINDY WONG
5 CONEJO DRIVE
MILLBRAE, CA



INTERIOR REMODEL AND ADDITION:
5 CONEJO DRIVE
MILLBRAE, CA

PLANNING REVISION 1 - MARCH 18, 2021

PROPOSED FLOOR PLANS

ISSUE DATE: MARCH 18, 2021
DRAWN BY: JMK
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A3.2

±25'-6" HIGH RIDGE
(AVG. ALONG CONEJO DRIVE)



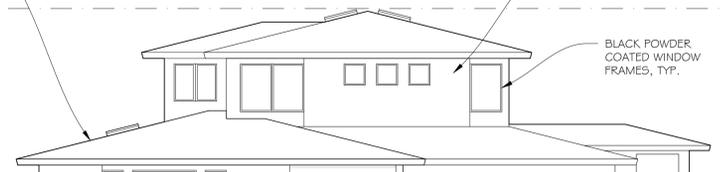
5 CONEJO DRIVE (EXISTING)
SEE A/A4.1

HIP ROOF,
ASPHALT
SHINGLES (±6:12
SLOPE)



15 CONEJO DRIVE
(FOR REFERENCE ONLY)

HIP ROOF, CLAY
TILE SHINGLES
(±3:12 SLOPE)



25 CONEJO DRIVE
(FOR REFERENCE ONLY)

STUCCO FACADE,
OFF-WHITE &
LIGHT GRAY PAINT
COLORS, TYP.

BLACK POWDER
COATED WINDOW
FRAMES, TYP.

GABLE DORMER
(±6:12 SLOPE)

DARK BRONZE
WINDOW FRAMES, TYP.

STUCCO FACADE,
MEDIUM GRAY
PAINT COLOR

METAL FRAME & GLASS
GARAGE DOOR

WOOD CLAD GARAGE
DOOR

A CONEJO DRIVE - EXISTING STREET ELEVATION
A4.0

1/8" = 1'-0"

SECOND FLOOR
MASSING (SIMILAR TO
25 CONEJO DRIVE)

±25'-6" HIGH RIDGE
(AVG. ALONG CONEJO DRIVE)

HIP ROOF, ASPHALT
SHINGLE, TYP. (SIMILAR
TO 15 CONEJO DRIVE,
3:12 SLOPE MATCHES
25 CONEJO DRIVE)



STUCCO FACADE,
INTEGRAL COLOR GRAY
RELATES TO 15 & 25
CONEJO DRIVE

5 CONEJO DRIVE (PROPOSED)
SEE B/A4.1

DARK BRONZE/BLACK
POWDER COATED
WINDOW FRAMES, TYP.
(SIMILAR TO 15 & 25
CONEJO DRIVE)

HORIZONTAL WOOD
CLAD GARAGE DOOR
(SIMILAR TO 25
CONEJO)



15 CONEJO DRIVE
(FOR REFERENCE ONLY)



25 CONEJO DRIVE
(FOR REFERENCE ONLY)

B CONEJO DRIVE - PROPOSED STREET ELEVATION
A4.0

1/8" = 1'-0"

ASHLAR STONE
ACCENT, (SIMILAR TO
10 CONEJO DRIVE &
OTHERS)



A. SIDE/REAR PERSPECTIVE @ MANZANITA



B. FRONT/CORNER PERSPECTIVE @ INTERSECTION OF MANZANITA AND CONEJO



C. PERSPECTIVE @ PROPERTY LINE BETWEEN 5 CONEJO DRIVE AND 15 CONEJO DRIVE

C 3D PERSPECTIVE VIGNETTES
A4.0

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PLANNING REVISION 1 - MARCH 18, 2021
PROJECT CONTEXT AND
3D PERSPECTIVE VIGNETTES

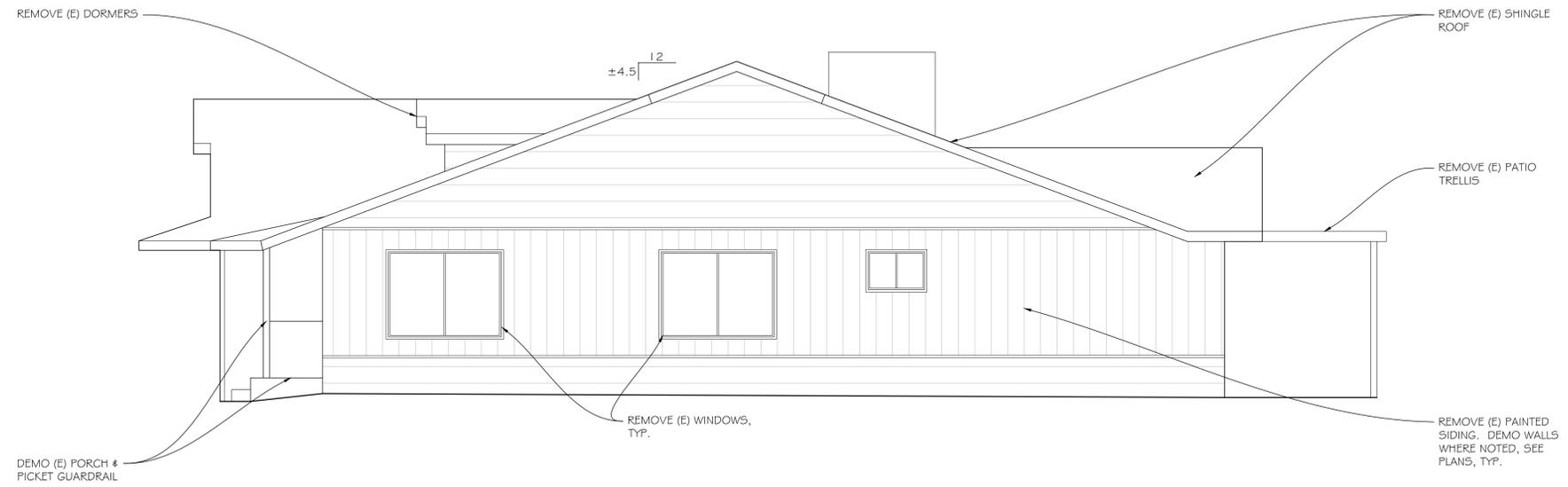
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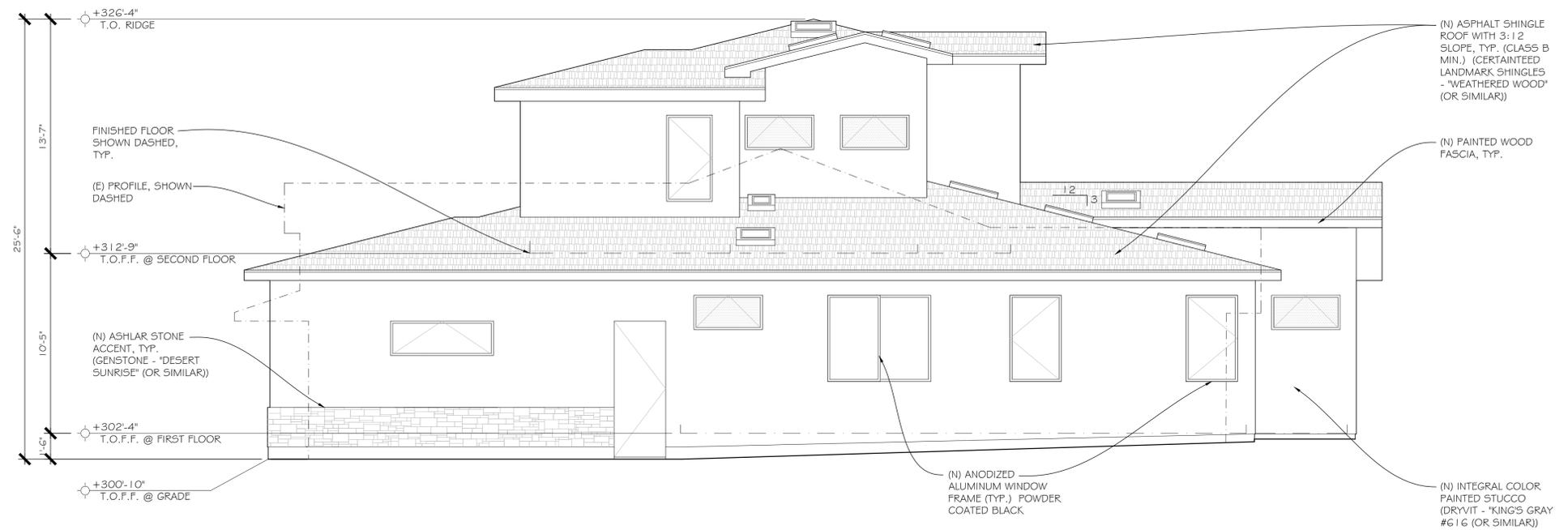
DRAWN BY
JMK

JOB NUMBER
SM1

A4.0



A EXISTING/DEMO RIGHT SIDE ELEVATION (WEST)
 A4.2 1/4" = 1'-0"



B PROPOSED RIGHT SIDE ELEVATION (WEST)
 A4.2 1/4" = 1'-0"

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PLANNING REVISION 1 - MARCH 18, 2021
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 ELEVATIONS

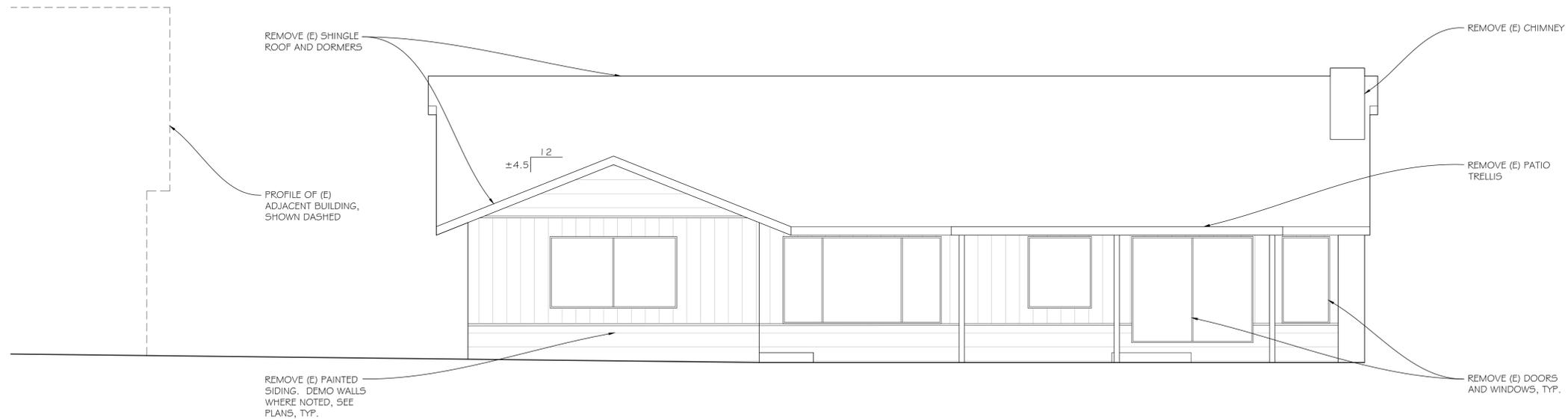
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ISSUE DATE
 MARCH 18, 2021

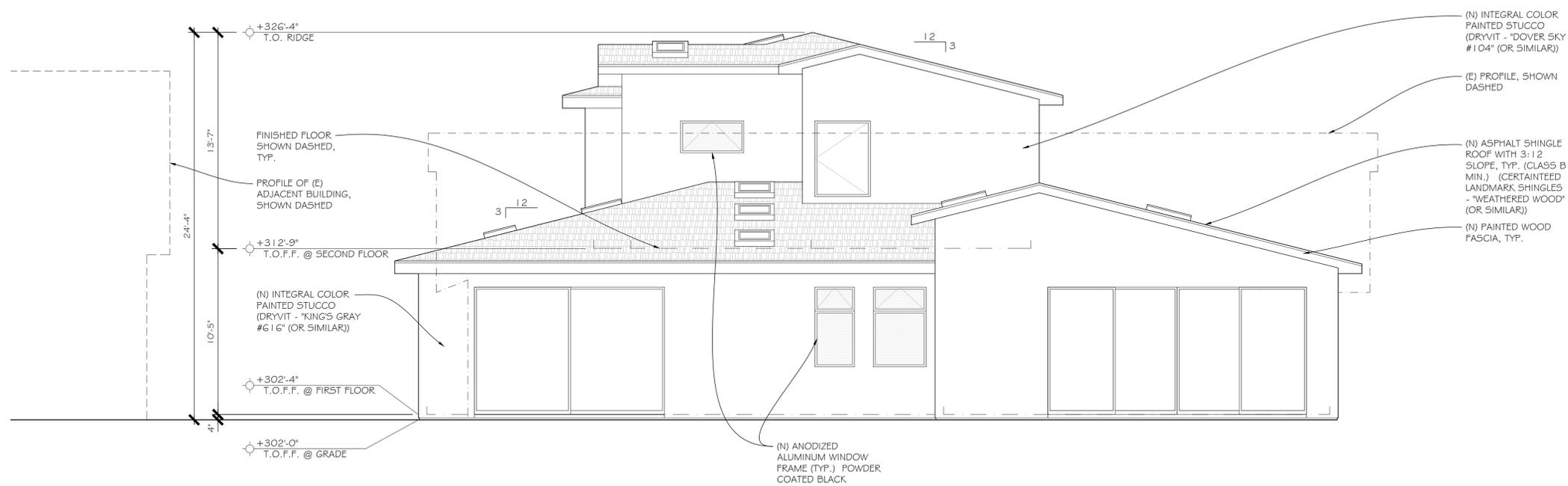
DRAWN BY
 JMK

JOB NUMBER
 SML

A4.2



A EXISTING/DEMO REAR ELEVATION (NORTH)
A4.3 1/4" = 1'-0"



B PROPOSED REAR ELEVATION (NORTH)
A4.3 1/4" = 1'-0"

PLANNING REVISION 1 - MARCH 18, 2021

EXISTING/DEMO AND PROPOSED ELEVATIONS

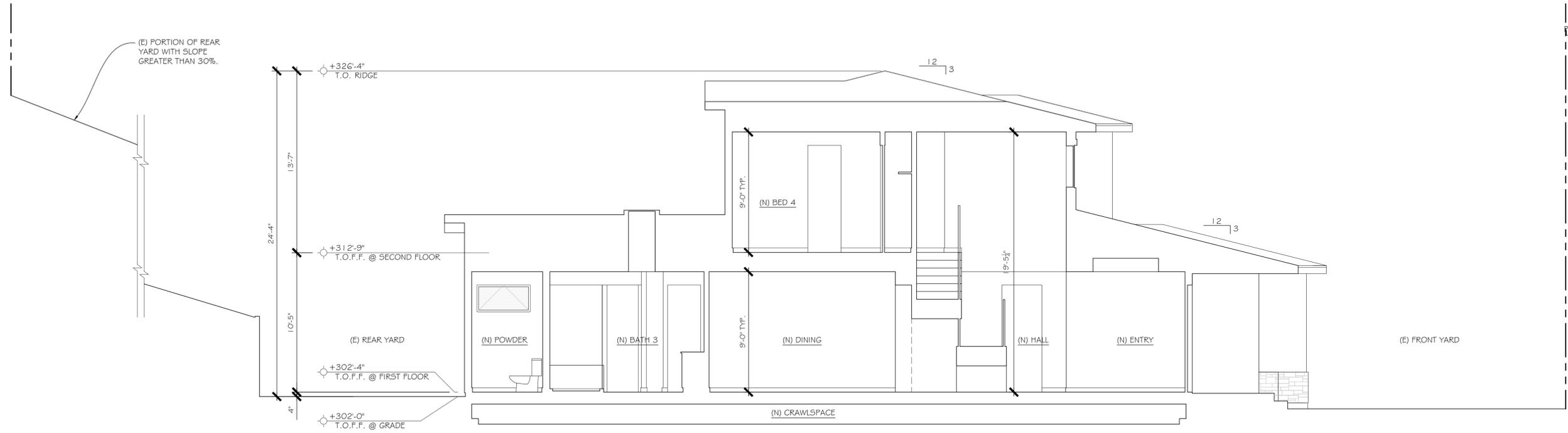
REVISIONS

ISSUE DATE: MARCH 18, 2021
DRAWN BY: JMK
JOB NUMBER: SML

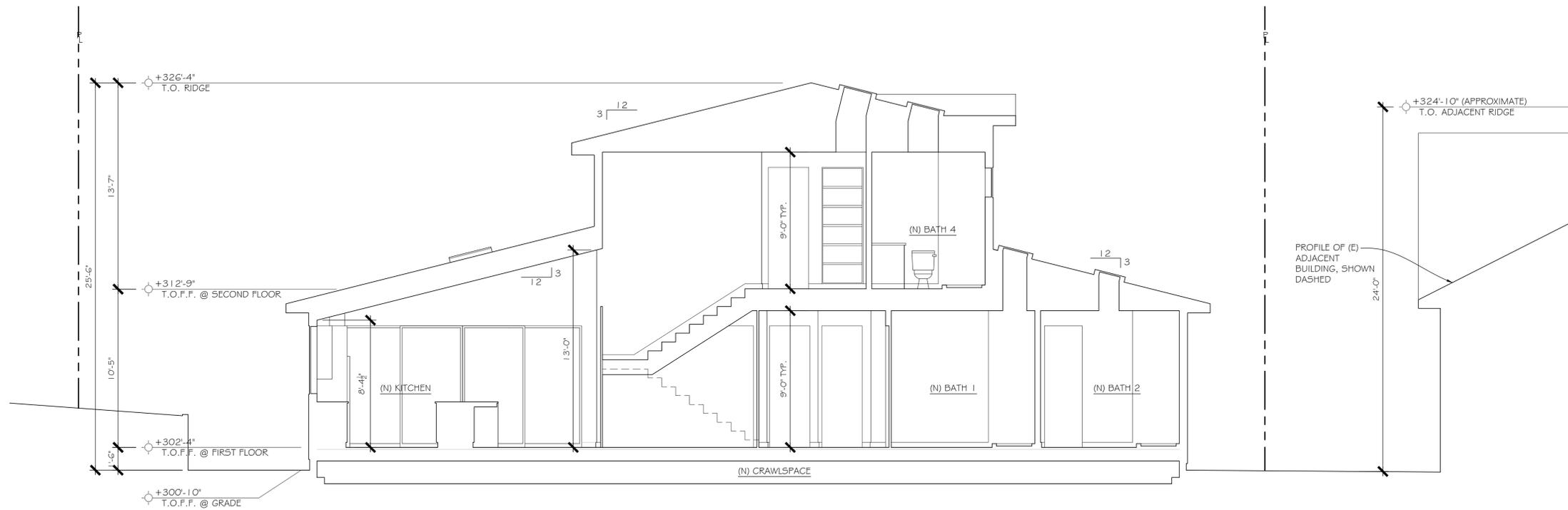
OWNER: CINDY WONG
5 CONEJO DRIVE
MILLBRAE, CA
1618 SULLIVAN AVENUE #486
DAILY CITY, CA 94015
Jared Kuykendall / 415.871.3976



INTERIOR REMODEL AND ADDITION:
5 CONEJO DRIVE
MILLBRAE, CA



A PROPOSED LONGITUDINAL SECTION
A5.0 1/4" = 1'-0"



B PROPOSED LATERAL SECTION
A5.0 1/4" = 1'-0"

OWNER:
CINDY WONG
5 CONEJO DRIVE
MILLBRAE, CA

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INTERIOR REMODEL AND ADDITION:
5 CONEJO DRIVE
MILLBRAE, CA

PROPOSED BUILDING SECTIONS

PLANNING REVISION 1 - MARCH 18, 2021

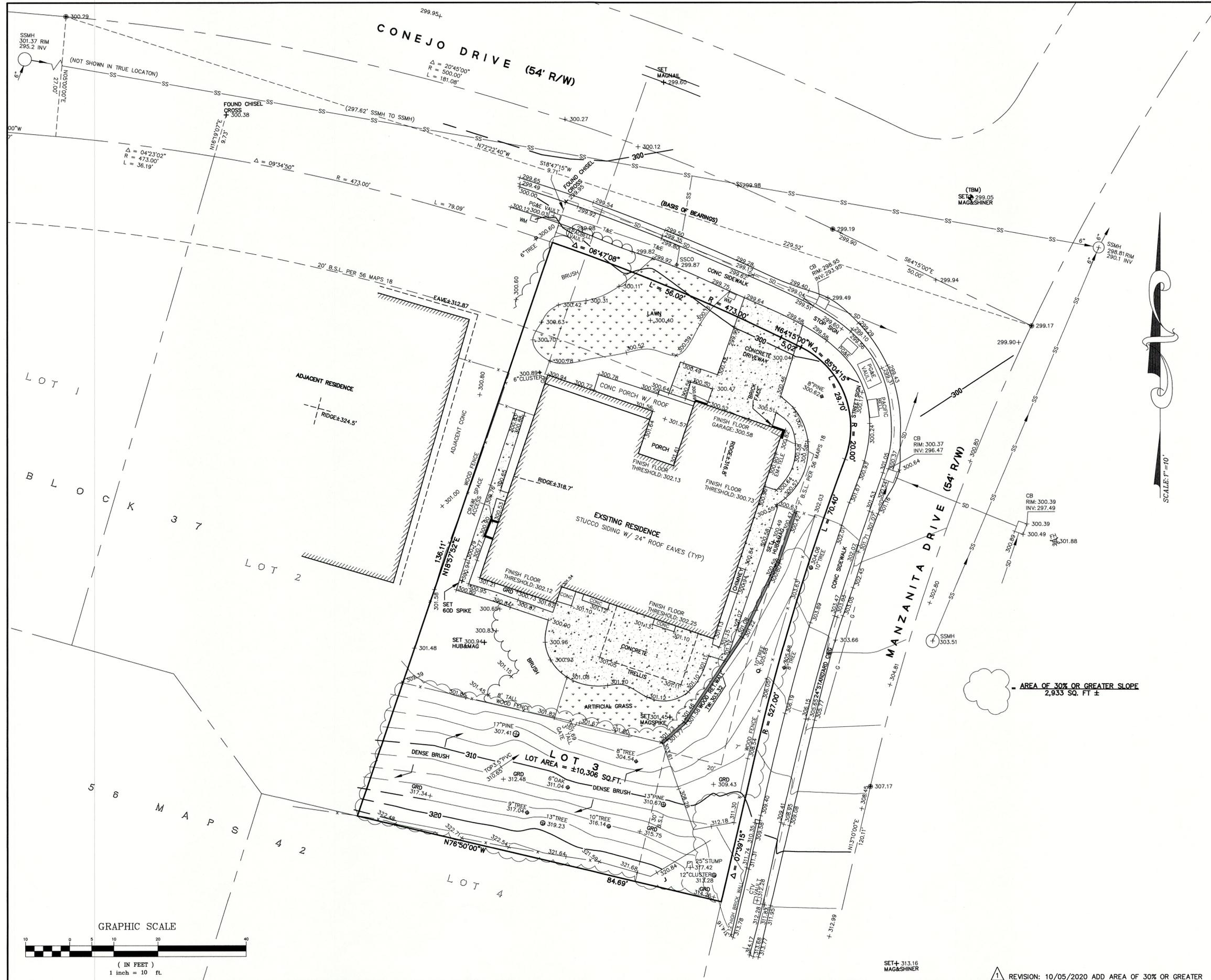
NO.	REVISIONS

ISSUE DATE
MARCH 18, 2021

DRAWN BY
JMK

JOB NUMBER
SMI

A5.0



BASIS OF ELEVATIONS:
 ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
 TBM: SET MAGNETIC NAIL AND SHINER
 ELEVATION = 299.05

BASIS OF BEARINGS:
 THE CALCULATED BEARING N42°22'40"W BETWEEN TWO FOUND MONUMENTS ALONG CONEJO DRIVE AS SHOWN ON THAT CERTAIN SUBDIVISION MAP ENTITLED, "MILLS ESTATE NO. 22", 56 MAPS 18, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

- LEGEND:**
- FOUND 3/4" IRON PIPE W/ CONC. PLUG AND 3/4" BRASS TAG (ILLEGIBLE) AND PIN (SET PER 56 MAPS 18)
 - A/C ASPHALTIC CONCRETE
 - B.S.L. BUILDING SETBACK LINE (56 MAPS 16)
 - BW BACK OF WALK
 - CB CATCH BASIN
 - CIP CAST IRON PIPE
 - CCP CORRUGATED METAL PIPE
 - CONC CONCRETE
 - CO CLEAN-OUT
 - C&G CURB AND GUTTER
 - DI DROP INLET
 - EM ELECTRIC METER
 - FD FOUND
 - FF FINISHED FLOOR
 - FL FLOW LINE
 - FH FIRE HYDRANT
 - GA GUY ANCHOR
 - GM GAS METER
 - GRD GROUND
 - HCR HANDICAP RAMP
 - INV INVERT
 - IP IRON PIPE
 - JP JOINT POLE
 - LAT. LATERAL
 - LG LIP OF GUTTER
 - O/H OVERHEAD
 - P.U.E. PUBLIC UTILITIES EASEMENT
 - RCP REINFORCED CONCRETE PIPE
 - RET. WALL RETAINING WALL
 - R/W RIGHT OF WAY
 - SSCO SANITARY SEWER CLEAN-OUT
 - SSMH SANITARY SEWER MANHOLE
 - SDM STORM DRAIN MANHOLE
 - TBC TOP BACK OF CURB
 - T/W TOP OF WALL
 - U/G UNDERGROUND
 - VCP VITRIFIED CLAY PIPE
 - WV WATER VALVE
 - WM WATER METER BOX
 - CTV- CABLE TELEVISION LINE
 - E- ELECTRICAL LINE
 - G- GAS LINE
 - SS- SANITARY SEWER LINE
 - SD- STORM DRAIN LINE
 - T- TELEPHONE LINE
 - W- WATER LINE

UTILITY NOTE:
 THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

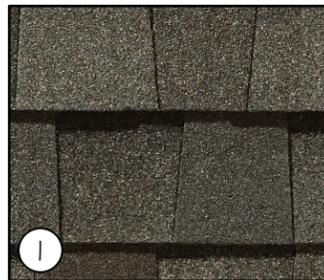
Robert C. Hutton
 No. LS 5454
 Exp. 9-30-22
 Date: 10/09/2020

BOUNDARY AND TOPOGRAPHIC SURVEY
 LANDS OF WONG
 DOCUMENT #2020-044328 O.R.
 LOT 3, BLOCK 37
 "MILLS ESTATE NO. 22"
 VOLUME 56 OF MAPS 16-18
 ASSESSOR'S PARCEL NUMBER: 024-451-030
 (5 CONEJO DRIVE)

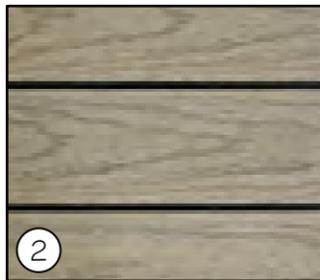
MILLBRAE SAN MATEO COUNTY CALIFORNIA
 SCALE: 1" = 10' JUNE, 2020

B & H SURVEYING, INC.
 PROFESSIONAL LAND SURVEYING
 901 WALTERMIRE ST.
 BELMONT, CA 94002
 OFFICE (650) 637-1590

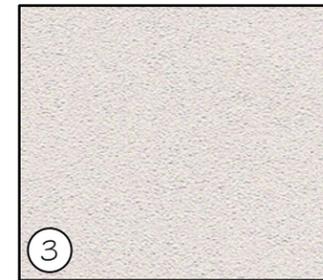
REVISION: 10/05/2020 ADD AREA OF 30% OR GREATER



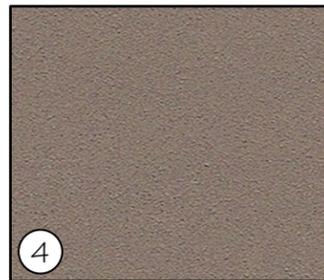
ASPHALT SHINGLE ROOFING
CERTAINTEED LANDMARK SHINGLES - "WEATHERED WOOD" (OR APPROVED EQUAL)



ACCENT CLADDING & TRIM
NEWTECHWOOD EUROPEAN SIDING SYSTEM - HORIZONTAL COMPOSITE CLADDING "PERUVIAN TEAK" (OR APPROVED EQUAL)



CEMENT PLASTER WITH INTEGRAL COLOR (1)
DRYVIT THREE-PART CEMENT PLASTER WITH INTEGRAL COLOR - "DOVER SKY #104" (OR APPROVED EQUAL)



CEMENT PLASTER WITH INTEGRAL COLOR (2)
DRYVIT THREE-PART CEMENT PLASTER WITH INTEGRAL COLOR - "KING'S GRAY #616" (OR APPROVED EQUAL)



ASHLAR STONE BASE
GENSTONE - "DESERT SUNRISE" (OR APPROVED EQUAL)

COLOR MATERIAL BOARD

5 CONEJO DRIVE
MILLBRAE, CA

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daly city, ca 94015
jared kuykendall / 415.871.9976