

**PLANNING COMMISSION
AGENDA REPORT**



**CITY OF MILLBRAE
621 Magnolia Avenue
Millbrae, CA 94030**

SUBJECT: DESIGN REVIEW PERMIT application to allow a first story renovation and addition and the construction of a new second story to an existing single-story residence in a Single-Family Residential (R-1) Zoning District (Public Hearing). ATTACHMENTS: 1. Resolution No. 21-11 2. Conditions of Approval 3. Project Description 4. Neighbor Consultation Forms 5. Site Photos 6. Project Plans 7. Color & Material Samples	Report No. 4b
	For Agenda of: June 21, 2021
	Address: 5 Conejo Drive
	Department: Community Development
	Originator: Nestor Guevara, Associate Planner
	Approved: Roscoe Mata, Planning Manager
	Property Owner: Cindy Wong
	Applicant: Jared Kuykendall
	Application submittal date: February 23, 2021 Application deemed complete date: May 17, 2021 Prior Planning Commission meeting date(s): none

REPORT TYPE: <input checked="" type="checkbox"/> ACTION	<input type="checkbox"/> INFORMATIONAL		
ITEM TYPE: <input type="checkbox"/> CONSENT	<input checked="" type="checkbox"/> PUBLIC HEARING	<input type="checkbox"/> EXISTING BUSINESS	<input type="checkbox"/> NEW BUSINESS

EXECUTIVE SUMMARY

The proposed project involves first story addition and renovation and a new 589 square foot second story to an existing single story residence. The proposal is subject to Planning Commission design since it is a second story addition over 500 square feet.

The existing property is a single-story home on a 10,300 square foot interior lot. The 2,529 square feet gabled roof with dormer home contains four bedrooms, two bathrooms, a living room, a kitchen, a dining room, a family room, a foyer, laundry space, a covered porch, and an attached 2-car garage. The existing roof pitch is a combination of 4.5:12, 7:12, and 3:12.

The proposed home would be a two-story contemporary ranch style home. The proposed first story would include two bedrooms, three bathrooms, a kitchen, a dining room, a living room, a family room, a powder room, an office, a pantry room, an entry, and an attached two-car garage. The proposed second story would include two bedrooms and two bathrooms. The proposed roof pitch would be 3:12.

The FAR will increase from 34% to 54% (55% is the allowable maximum). The lot coverage would increase from 26% to 33% (50% is the allowable maximum).

RECOMMENDATION

Staff recommends that the Planning Commission review the project, consider the public testimony and the Findings, as presented, and consider adopting the attached Resolution approving a first story renovation and addition and the construction of a new second story to an existing single-story residence in a Single-Family Residential (R-1) Zoning District, subject to the attached Conditions of Approval.

LOCATION AND SURROUNDING USES

The project site is located in the Mills Estate neighborhood. Conejo Drive is a neighborhood street that connects Manzanita Drive and Vallejo Drive. The 10,300 square foot (sf) interior lot, contains a 2,529 sf home, including a two-car attached garage, is zoned Single-Family Residential (R-1) and identified in the General Plan as Low Density Residential.

Project Address: 5 Conejo Drive					
	Site	North	South	East	West
General Plan	Low Density Residential	Low Density Residential	Low Density Residential	Low Density Residential	Low Density Residential
Zoning	R-1	R-1	R-1	R-1	R-1

PROPOSAL

The proposed project includes the renovation and addition to an existing single-story residence, as well as the addition of a new second story. The proposed first story would include two bedrooms, three bathrooms, a kitchen, a dining room, a living room, a family room, a powder room, an office, a pantry room, an entry, and an attached two-car garage. The proposed second story would include two bedrooms and two bathrooms. The proposed roof pitch would be 3:12.

Building Height would increase from 18' to 25' 6". The existing front setback is 18'9", where 20' is the minimum front yard setback in R-1 zone. There is no change to the existing front setback, and no work proposed to the part of the house, meaning it is an existing non-conforming condition that can continue. All other ground floor and upper story setbacks are met. The proposed 2-car garage satisfies the required covered parking per Zoning Code. The proposal complies with all other R-1 Zone development standards.

The existing home measures 2,529 square feet, including the attached garage. The proposed home would increase the total square footage to 3,981. The FAR will increase from 34% to 54% (55% is the allowable maximum). The lot coverage would increase from 26% to 33% (50% is the allowable maximum).

ISSUES & ANALYSIS

The proposed new construction complies with minimum and maximum development standards as follows (existing non-conforming in *italics*; proposed non-compliant in bold *italics*):

Corner Lot	Requirement	Existing	Proposed
Building Setbacks			
1 st Floor Front Setback	20 Ft.	18 Ft. 9 In.	No Change
1 st Floor Side Setback EXTERIOR	10 Ft.	14 Ft.	16 Ft. 6 In.
1 st Floor Side Setback INTERIOR	5 Ft.	8 Ft. 2 In.	5 Ft.
1 st Floor Rear Setback	10 Ft.	59 Ft. 5 In.	48 Ft.
2 nd Floor Front Setback	10 Ft.	N/A	14 Ft. 9 In.
2 nd Floor Side Setback EXTERIOR	10 Ft.	N/A	18 Ft. 10 In.
2 nd Floor Side Setback INTERIOR	10 Ft.	N/A	10 Ft. 6 In.
	Gross Area	Existing	Proposed
Site Area	10,300 SF	10,300 SF	No Change
Maximum Lot Coverage	50% (5,150 SF)	26% (2,689 SF)	33% (3,373 SF)
Maximum Floor Area Ratio	55% (4,052 SF)	34% (2,529 SF)	54% (3,981 SF)
Maximum Building Height	30 Ft.	18 Ft.	25 Ft. 6 In.
Minimum Rear Yard Open Space	1,000 SF	3,556 SF	No Change
Enclosed Parking	2 Garage Spaces	2 Garage Spaces	No Change

Design Review

Section 10.05.1150 (Architectural, Landscaping and Site Plan Consideration) of the Millbrae Municipal Code requires Design Review, pursuant to the City's adopted Residential Design Guidelines, for significant alterations to an existing development. The Design Guidelines include generalized review criteria that seek to integrate additions into the existing character of the structure and neighborhood, while respecting the privacy, views, and solar access of neighboring properties.

The existing home is a single-story ranch style home similar to other buildings in the neighborhood. The front exterior is a red siding, with white siding and shutters, wood doors, white wood garage doors with brick features on either side of the garage doors. The roof is a gabled roof type with dormers. The existing roof pitch is a combination of 4.5:12, 7:12, and 3:12.

The proposed exterior finishes will be a combination of varying grey stuccos, a stone base by the front of the house, accent cladding and trim siding for the front door and garage doors, and asphalt shingle roof. The proposed roof pitch ratio will be 3:12.

Neighborhood Character

The majority of homes in the area are one and two story homes, and are generally ranch style with cross hipped and cross gabled roof designs. The existing residence is situated on a neighborhood street that connects Manzanita Drive and Vallejo Drive. There are no views of the San Francisco Bay from the existing property. The subject building was built in 1963.

Parking

The project site contains an existing 480 square foot two-car, enclosed and attached garage. The proposed plan provides an attached 510 square foot garage. Pursuant to section 10.05.2100 of the Zoning Ordinance, two garage spaces are required per single-family-dwelling. The proposed enclosed parking of 510 square feet provided on the site exceeds the 400 square feet required by the Zoning Ordinance and conforms to the recommended parking guidelines of two-enclosed spaces.

Public Notice Requirement

The City of Millbrae Community Development Department follows legally required public noticing requirements outlined in the Municipal Code Section 10.05.2900 including: publishing the Planning Commission meeting date not less than ten days prior to the hearing, in a newspaper of general circulation in the city and mailing notice cards to property owners within a 300 foot radius of the subject property. In addition, ten days prior to the hearing, staff posts notices in at least three public places along the street and stakes a notice placard on the subject property. At least three days before the meeting, staff posts the project meeting date on the City website Planning Commission calendar; and on the bulletin boards at City Hall and the Millbrae Public Library.

Neighborhood Response

In accordance with the City of Millbrae Community Development Departments' Submittal Requirements for Residential Development to notify each adjacent property owner abutting the project site, a total of 6 Proof of Neighbor Consultation forms from the adjacent residences have been submitted as follows:

Response	#	Address	Date Applicant Sent	Date Received by Staff
Support	3	10 Conejo 15 Conejo 20 Conejo	2/2/21 2/1/21 2/2/21	2/22/21 2/22/21 2/22/21
Oppose	0			
Unreturned	3	1319 Manzanita 1325 Manzanita 1340 Manzanita	2/3/21 2/3/21 2/3/21	

REQUIRED FINDINGS

Design Review Permit

Pursuant to Section 10.05.2500(C)(2) of the Millbrae Municipal Code the design review application materials shall be evaluated by the Planning Commission. The following findings are required, under this section of the code, for the Planning Commission to approve the requested Design Review Permit:

a. The architectural, landscaping, and general appearance of the proposed building or structure and grounds are in keeping with the character of the neighborhood;

The neighborhood contains a mix of one and two story ranch style homes with gable or hipped roofs, and some dormers. There is also some contemporary ranch style homes found on Conejo Drive. The proposed house would be in a contemporary ranch style, similar to that found on 25 Conejo. Like other properties in the neighborhood, the proposed house contains abundant landscaping in the front yard to meet the landscaping requirements. The site contains an existing spruce tree in the front yard, at the intersection of Conejo Drive and Mazanita Drive, as well additional tree and landscape coverage on the street side yard, both which will remain.

The existing home is a single-story ranch style home similar to other buildings in the neighborhood. The front exterior is a red siding, with white siding and shutters, wood doors, white wood garage doors with brick features on either side of the garage doors. The roof is a gabled roof type with dormers. The existing roof pitch is a combination of 4.5:12, 7:12, and 3:12.

The proposed house will be a contemporary ranch style home. The proposed exterior finishes will be a combination of varying grey stuccos, a stone base by the front of the house, accent cladding and trim siding for the front door and garage doors, and asphalt shingle roof. The proposed roof pitch ratio will be 3:12.

b. The project complies with all applicable development regulations;

The subject property is a corner lot and with an existing non-conforming front setback that is to remain. No work is proposed to the non-conforming portion of the property. The proposed project meets all other ground floor and upper story setbacks, floor area and height requirements. The proposed project would include the renovation and a 715 square foot addition to the first story, as well as a new 589 square foot second story. FAR will increase from 34% to 54% (55% is the allowable maximum) and the lot coverage would increase from 26% to 33% (50% is the allowable maximum). Pursuant to section 10.05.2100 of the Zoning Ordinance, two garage spaces are required per single family residence. The provided garage spaces meets the parking requirements for the R-1 Zone.

c. The project will not cause a significant visual impact to neighboring views from principal rooms of a residence (unless it is proven by the applicant that there is no other viable or cost-effective alternative);

Based on staff site visit, plan review and neighbor responses, staff found that the project meets the intent of the design review guidelines and would not cause any negative visual impact to neighbors. The building height would increase from 18' to 25'6". There are views of the San Francisco Bay along Manzanita Drive, but the addition would not have any effect on these views.

- d. The proposal is not detrimental to the orderly, harmonious and safe development of the city and will not impair the desirability of investment or occupation in the neighborhood in which the building or structure is proposed to be erected.**

The proposed project complies with all standards as identified in the Zoning Code and will be required to comply with all applicable building and fire safety codes. Therefore, based upon the above findings, the addition will not decrease the desirability of the neighborhood or disrupt the orderly development of the City.

ENVIRONMENTAL REVIEW

This project has been determined to be Categorically Exempt pursuant to Section 15301 Class 1 (e) (2) of the California Environmental Quality Act that allows for an addition to an existing structure provided that the addition will not result in an increase of more than 10,000 square feet if (A) the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and (B) the area in which the project is located is not environmentally sensitive. The project meets both conditions. The subject property and/or structure is not listed on the California or National Register for historic resources or is associated with any person of historical importance.

PLANNING COMMISSION ACTION:

Staff recommends that the Planning Commission review the project, consider the public testimony and the Findings, as presented, and consider adopting the attached Resolution to allow a first story renovation and addition and the construction of a new second story to an existing single-story residence in a Single-Family Residential (R-1) Zoning District, subject to the attached Conditions of Approval.

RESOLUTION NO. 21-11

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILLBRAE
APPROVING THE DESIGN REVIEW PERMIT FOR A FIRST STORY RENOVATION
AND ADDITION AND A NEW SECOND STORY AT A SINGLE-STORY RESIDENCE
IN A RESIDENTIAL (R-1) ZONING DISTRICT AT 5 CONEJO DRIVE . (PUBLIC
HEARING)**

CITY OF MILLBRAE

WHEREAS, the applicant has filed PA-2021-0068 to request the approval to allow a first story renovation and addition and the construction of a new second story to an existing single-story residence in a Single-Family Residential (R-1) Zoning District at 5 Conejo Drive, subject to the attached Conditions of Approval; and

WHEREAS, the proposal will consist first story addition and a new 589 second story; and

WHEREAS, the Planning Commission found that this project is consistent with the City's General Plan, Development Code, and has determined that the project is categorically exempt per Section 15301 Class 1 (e) (2) of the California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, this Planning Commission, having considered the evidence received at the public hearing duly noticed, desires to recommend approval of the project in the manner proposed and referenced above and in accordance with the following findings;

Design Review Permit:

- a. The architectural, landscaping, and general appearance of the proposed building or structure and grounds are in keeping with the character of the neighborhood;**

The neighborhood contains a mix of one and two story ranch style homes with gable or hipped roofs, and some dormers. There is also some contemporary ranch style homes found on Conejo Drive. The proposed house would be in a contemporary ranch style, similar to that found on 25 Conejo. Like other properties in the neighborhood, the proposed house contains abundant landscaping in the front yard to meet the landscaping requirements. The site contains an existing spruce tree in the front yard, at the intersection of Conejo Drive and Mazanita Drive, as well additional tree and landscape coverage on the street side yard, both which will remain.

The existing home is a single-story ranch style home similar to other buildings in the neighborhood. The front exterior is a red siding, with white siding and shutters, wood doors, white wood garage doors with brick features on either side of the garage doors. The roof is a gabled roof type with dormers. The existing roof pitch is a combination of 4.5:12, 7:12, and 3:12.

The proposed house will be a contemporary ranch style home. The proposed exterior finishes will be a combination of varying grey stuccos, a stone base by the front of the house, accent cladding and trim siding for the front door and garage doors, and asphalt shingle roof. The proposed roof pitch ratio will be 3:12.

b. The project complies with all applicable development regulations;

The subject property is a corner lot and with an existing non-conforming front setback that is to remain. No work is proposed to the non-conforming portion of the property. The proposed project meets all other ground floor and upper story setbacks, floor area and height requirements. The proposed project would include the renovation and a 715 square foot addition to the first story, as well as a new 589 square foot second story. FAR will increase from 34% to 54% (55% is the allowable maximum) and the lot coverage would increase from 26% to 33% (50% is the allowable maximum). Pursuant to section 10.05.2100 of the Zoning Ordinance, two garage spaces are required per single family residence. The provided garage spaces meets the parking requirements for the R-1 Zone.

c. The project will not cause a significant visual impact to neighboring views from principal rooms of a residence (unless it is proven by the applicant that there is no other viable or cost-effective alternative);

Based on staff site visit, plan review and neighbor responses, staff found that the project meets the intent of the design review guidelines and would not cause any negative visual impact to neighbors. The building height would increase from 18' to 25'6". There are views of the San Francisco Bay along Manzanita Drive, but the addition would not have any effect on these views.

d. The proposal is not detrimental to the orderly, harmonious and safe development of the city and will not impair the desirability of investment or occupation in the neighborhood in which the building or structure is proposed to be erected.

The proposed project complies with all standards as identified in the Zoning Code and will be required to comply with all applicable building and fire safety codes. Therefore, based upon the above findings, the addition will not decrease the desirability of the neighborhood or disrupt the orderly development of the City.

NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED BY THE PLANNING COMMISSION THAT:

1. The recitals set forth above are true and correct and are hereby incorporated herein by this reference and full set forth in their entirety.
2. The adoption of the Design Review Permit will not be detrimental to the public health, safety, and general welfare.
3. This resolution shall be effective immediately.

PASSED AND ADOPTED as a Resolution of the City of Millbrae Planning Commission at the public meeting held on the 21st day of June, 2021 by the following vote:

AYES: _____

NOES: _____

ABSENT: _____

ABSTAIN: _____

CHAIR

ATTEST:

SECRETARY

CONDITIONS OF APPROVAL

Project: 5 Conejo Drive

Date: June 21, 2021

GENERAL REQUIREMENTS:

1. This approval and all rights hereunder shall be effective for a period of one (1) year from the date of approval. The Planning Commission may extend this approval period, not to exceed three years, if a written request is made and submitted by the property owner prior to the expiration of the approval period (Section 10.05.2550) and a notice of a public hearing has been made pursuant to Section 10.05.2900 (D) of the Millbrae Municipal Code. Applicant shall photocopy these Conditions of Approval onto the building permit application, at time of submittal, to the Building Division.
2. Violation of any of the conditions of this permit shall be cause for the issuance of an infraction or citation, prosecution, and/or revocation and termination of all rights under the permit, by the City of Millbrae.
3. In the event of transfer of ownership of the property involved in this application, the new owner shall be fully informed of the use and development of said property as set forth by this permit together with all conditions, which are a part thereof. These specific requirements must be recorded with all title conveyance documents at time of closing escrow.
4. Site development, including landscaping, shall conform to the approved plans on file in the City of Millbrae Community Development Department. No significant changes shall be made to the approved plans without prior review and approval by the Planning Commission.
5. All landscaped areas must be maintained in a neat, healthy, and growing condition, including public parkways and street trees.
6. Front yard Landscaping Requirement: front yards are required to have 60% landscaping within the front 20 feet setback, measured from the front property line and no more than 40% allowed for paved driveway. The property owner is responsible for complying with this requirement. The landscaped area includes the walkway to the front door. R1 Single Family Residential District requires front yard landscape requirement (MMC Section 10.05.0620 G.2). NO PAVING of front vegetation strip adjacent to sidewalk permitted. Property owner is responsible for maintaining landscape vegetation strip adjacent to sidewalk and street.
7. The property shall be developed and maintained in a neat, quiet, and orderly condition and in a manner so as not to be detrimental to adjacent properties and occupants. This shall encompass the maintenance of the exterior facades of the building and all landscaping surrounding the building.

8. All structures shall conform to California Building Code requirements and all required permits from the City of Millbrae Building Division must be secured prior to initiating development under the terms of this permit.
9. Any off-site improvements found to be damaged shall be repaired and/or replaced as required by the City of Millbrae Director of Public Works.
10. All required utility easements shall be provided as indicated by the department or agency having jurisdiction.
11. The project shall comply with all applicable “City of Millbrae Public Works General Conditions of Approval” (copy provided to applicant). This condition includes project compliance with the Public Works Construction and Demolition Reuse and Recycling Requirements, including submittal of planning forms to the City’s Recycling Coordinator prior to issuance of a Building Permit.
12. Prior to the framing inspection, a licensed surveyor shall shoot the height of the roof ridge and certify in writing that the overall building height is per the approved plans. Said certification shall be submitted to the Building Division prior to the framing inspection being scheduled.
13. Development Impact Fees: Single family residence projects are subject to the following six development impact fees: Library Facilities, General Government Facilities, Recreation Services, Public Safety, Parks, Mobility and Administration fees. These fees are assessed upon new development projects to fully or partially offset the costs of public capital facilities and infrastructure that is needed to serve new demand created by development projects. Fees imposed on a residential development project with one unit are required to be paid prior to the date of the final inspection, or the date the certificate of occupancy is issued, whichever occurs first. For residential developments containing more than one unit, all fees must be paid when the first unit in the development receives its final inspection or certificate of occupancy, whichever occurs first. The Development Impact Fees are subject to annual indexing automatically adjusted on January 1st of each year in accordance with the change in the Engineering Construction Cost Index, as most recently published by Engineering News Record, for the previous calendar year. For more detailed information on Development Impact Fees please visit the City website link: <https://www.ci.millbrae.ca.us/departments-services/community-development/fees>.
14. Developers Fees for School Facilities: there are separate developer fees for school facilities both elementary and high school. All building permits for new buildings or additions over 500 square feet must pay developer’s fees to both the High School and Elementary School District as permitted by Government Code Section 53080. Please visit the following website to call for current fees and for payment: <https://www.ci.millbrae.ca.us/home/showpublisheddocument?id=17533>.

SPECIAL CONDITIONS:

- A. Any proposed deviation from the Planning Commission approved plans/exhibits shall be shown to City staff for a determination of significance. All such deviations deemed significant by City staff shall be reviewed and approved by the Planning Commission and reflected in revised building plans prior to construction.
- B. If any existing roof elements or exterior walls designated on the approved plans to remain should later need to be removed or in any way altered, the applicant shall first notify the Building Official before undertaking such work to ensure that the construction plans are revised accordingly. Depending upon the extent of such unanticipated work, Planning Commission approval, in the form of an amendment to this approval, may be required prior to revising the construction plans.
- C. Prior to issuance of any building permits, all new construction shall comply with all applicable building and fire safety codes. This condition shall also apply to the alteration of existing construction in the event that such existing construction is not already fully code compliant.
- D. Hours of construction are limited from Monday to Friday 7:30 A.M. to 7:00 P.M., Saturday 8:00 A.M. to 6:00 P.M., with Sunday and Holidays from 9:00 A.M. to 6:00 P.M.



Project: 5 Conejo Drive (Remodel and Addition)

Date: February 18, 2021

To whom it may concern:

The drawings and documents attached to this letter propose a renovation and horizontal/vertical addition of a second floor to an existing 1-story single-family residence located at 5 Conejo Drive (the corner of Conejo Drive and Manzanita Drive).

The existing 2,050 square foot single-story home is a ranch style "birdhouse" home constructed out of wood on a 10,300 square foot lot. There is an existing 479 square foot two-car garage, bringing the total square footage to 2,529 square feet. An additional 160 square feet of covered entry porch and trellised patio contribute to a total of 2,689 square feet of lot coverage.

The proposed project will consist of remodeling/reconfiguring the first floor, adding 788 square feet of living space and relocating and providing a new 535 square foot code compliant two-car garage, bringing the ground floor to a total of 3,373 square feet. With a new total lot coverage comes out to 3,373 square feet, the proposed project increases the overall lot coverage by 7%, from the existing 26% to 33% of the allowed 50%. The proposed ground floor will consist of a formal living room, open kitchen/family room, dining room, study, 2 bedrooms with en suite bathrooms, and 1.5 additional bathrooms.

The new addition of the second floor proposes 2 bedroom suites that totals 589 square feet. The new addition meets all required corner lot setbacks. The new second floor addition brings the total floor area to 3,962 square feet of the allowed 4,052 square feet, a 20% increase to the original FAR of 34% to 54% of the allowed 55%. A portion of the existing rear yard, approximately 2,933 square feet of the lot, has a slope of 30% or more, adjusting the lot area from 10,300 to 7,367 square feet.

The ground floor addition will match existing conditions, so only minimal adjustments to the existing grade will be necessary in order to provide appropriate on site drainage. The existing grass in the rear yard will be replaced with permeable artificial turf. The existing landscaping in the front yard will be replaced with drought tolerant plants and xeriscaping materials such as mulch and gravel.

The home owners and their family are looking forward to relocating to Millbrae, being closer to friends, and seeing their children grow and prosper.

Regards,

A handwritten signature in black ink, appearing to read "Jared Kuykendall", with a long, sweeping horizontal line extending to the right.

Jared Kuykendall, Architect, LEED-AP BD+C

CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com.

Milbrae, CA 94030

OFFICIAL USE

Certified Mail Fee \$3.60

Extra Services & Fees (check box, add fee as appropriate)

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☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$1.60

Total Postage and Fees \$5.20

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PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Postage \$1.60

Total Postage and Fees \$5.20

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☐ Certified Mail Restricted Delivery \$0.00

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Daly City, CA 94015

OFFICIAL USE

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Extra Services & Fees (check box, add fee as appropriate)

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☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$1.40

Total Postage and Fees \$5.00

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Milbrae, CA 94030

OFFICIAL USE

Certified Mail Fee \$3.60

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$1.60

Total Postage and Fees \$5.20

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Milbrae, CA 94030

OFFICIAL USE

Certified Mail Fee \$3.60

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$1.60

Total Postage and Fees \$5.20

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City, State, ZIP+4® Milbrae, CA 94030

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Milbrae, CA 94030

OFFICIAL USE

Certified Mail Fee \$3.60

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$1.60

Total Postage and Fees \$5.20

Sent To

Street and Apt. No., or PO Box No. 15

City, State, ZIP+4® Milbrae, CA 94030

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Proof of Neighbor Consultation

Certified mail receipts and signed adjacent owner forms received to date.

5 CONEJO
DRIVE
MILLBRAE, CA

studio797
residential | commercial | design
1618 sullivan avenue #486
daly city, ca 94015
jared kuykendall / 415.871.9976



City of Millbrae

PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Cindy Wong, (owner/owner's agent), have met with the party listed below regarding a REMODEL AND ADDITION (type of permit(s)) for A SINGLE FAMILY / TWO STORY HOUSE (project description) at 5 CONEJO DRIVE (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

Date

THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

(Adjacent property owner to complete the following)

I, Dana Rich, own the property located at 20 Conejo Dr., Millbrae, CA. On 2/5/2021, the above proposal was shown to me and I received a copy of the plans.

☒ I support the proposal as shown to me.

Signature

Date

☐ I oppose the proposal as shown to me

Signature

Date

Name

Email

Contact Number

Comments (optional):

November 2017



City of Millbrae

PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Cindy Wong, (owner/owner's agent), have met with the party listed below regarding a REMODEL AND ADDITION (type of permit(s)) for A SINGLE FAMILY / TWO STORY HOUSE (project description) at 5 CONEJO DRIVE (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

Date

THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

(Adjacent property owner to complete the following)

I, ANGELA SU, own the property located at 15 Conejo Dr, Millbrae, CA 94030. On 2/11/21, the above proposal was shown to me and I received a copy of the plans.

☒ I support the proposal as shown to me.

Signature

Date

☐ I oppose the proposal as shown to me

Signature

Date

Name

Email

Contact Number

Comments (optional):

November 2017



City of Millbrae

PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Cindy Wong, (owner/owner's agent), have met with the party listed below regarding a REMODEL AND ADDITION (type of permit(s)) for A SINGLE FAMILY / TWO STORY HOUSE (project description) at 5 CONEJO DRIVE (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

Cindy Wong

Date

Feb 2, 2021

THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

(Adjacent property owner to complete the following)

I, Joseph Cabrera, own the property located at 10 Conejo Dr, Millbrae, CA. On 2 / 8 / 21, the above proposal was shown to me and I received a copy of the plans.

☒ I support the proposal as shown to me.

Signature

Date

Jr

2/8/21

☐ I oppose the proposal as shown to me

Signature

Date

Joseph Cabrera

Name

joc75@hotmail.com

Email

201.936.0108

Contact Number

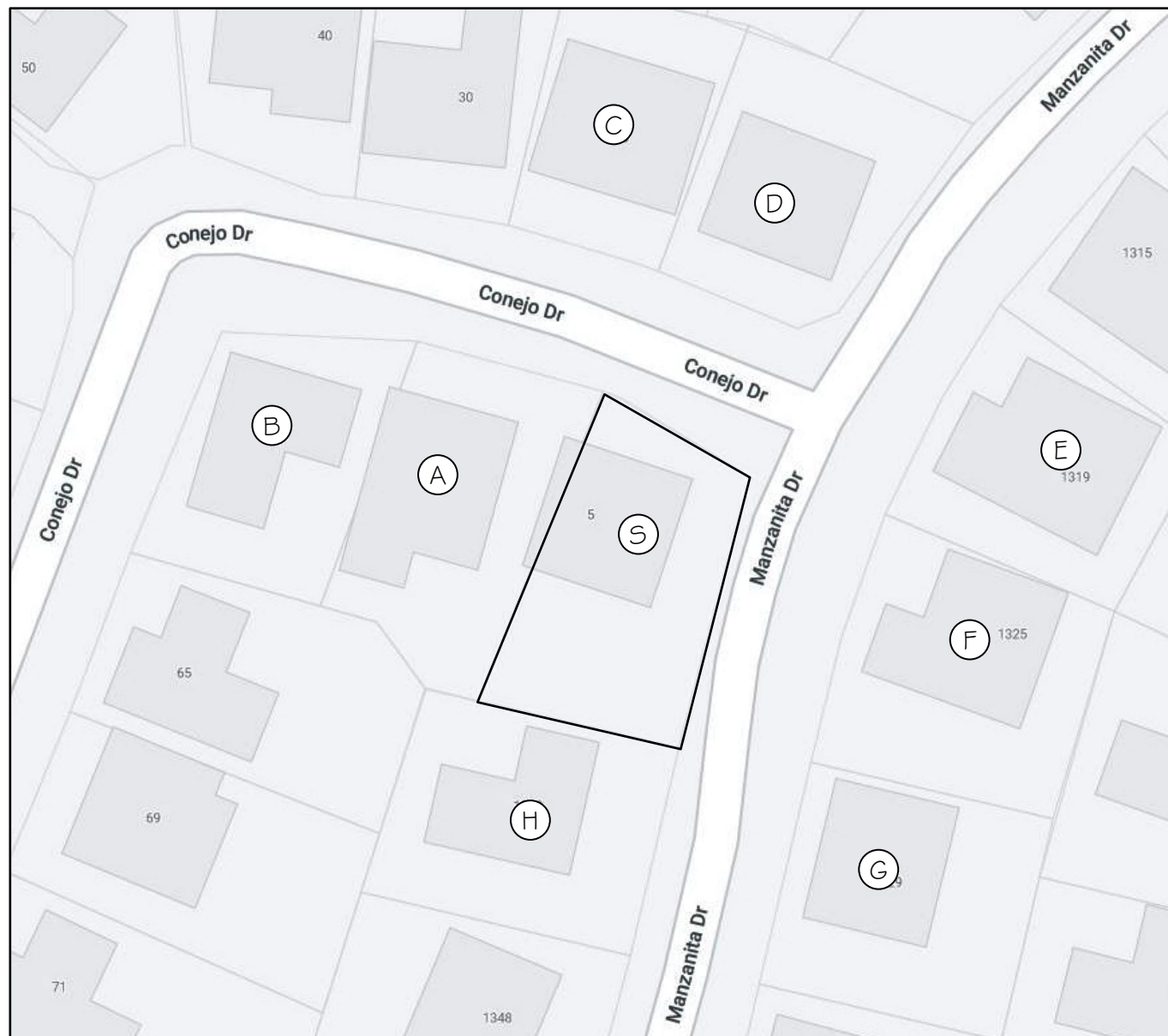
Comments (optional):

(5 Conejo)
When the neighboring house to this address underwent their construction,
a long construction truck (was allowed??) PARKED for almost 2 years (the
length of construction) on the street. We hope this will not happen
again in regards to parking.

November 2017

- (A) 15 Conejo Drive
- (B) 25 Conejo Drive
- (C) 20 Conejo Drive
- (D) 10 Conejo Drive
- (E) 1319 Manzanita Drive
- (F) 1325 Manzanita Drive
- (G) 1329 Manzanita Drive
- (H) 1340 Manzanita Drive

- (S) 5 Conejo Drive
(Subject Property)



O

PHOTO KEY

SITE PHOTOS

5 CONEJO
DRIVE
MILLBRAE, CA

studio797
residential | commercial | design
1618 sullivan avenue #486
daly city, ca 94015
jared kuykendall / 415.871.9976



(A) 15 Conejo Drive



(B) 25 Conejo Drive



(C) 20 Conejo Drive



(D) 10 Conejo Drive



(E) 1319 Manzanita Drive



(F) 1325 Manzanita Drive



(G) 1329 Manzanita Drive



(H) 1340 Manzanita Drive



⑤ 5 Conejo Drive - Front Facade (from Conejo)



⑤ 5 Conejo Drive - Side Facade (from Manzanita)



⑤ 5 Conejo Drive - Side Facade (Partial)



⑤ 5 Conejo Drive - Rear Facade (Partial)

3	SUBJECT
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SITE PHOTOS	5 CONEJO DRIVE MILLBRAE, CA	 residential commercial design 1618 sullivan avenue #486 daly city, ca 94015 jared kuykendall / 415.871.9976
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A. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1).

C. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1). PROVIDE DOCUMENTATION.

E. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3). CONTRACTOR SHALL PROVIDE VERIFICATION AS REQUIRED.

G. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE. WOOD FRAMING SHALL HAVE MOISTURE CONTENT OF 19% MAX. (4.505.3).

1. CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALIFORNIA GREEN CODE SECTION 4.408.2. MIN. 65% OF WASTE SHALL BE REDUCED/DIVERTED. ALTERNATIVELY, CONTRACTOR MAY UTILIZE AN APPROVED WASTE MANAGEMENT COMPANY.

K. CONTRACTOR SHALL PROVIDE A BUILDING OPERATION AND MAINTENANCE MANUAL IN ACCORDANCE WITH CALIFORNIA GREEN CODE SECTION 4.410.1

6. INSTALLATION DOCUMENTATION REQUIRED: A SET OF DOCUMENTS APPLICABLE TO THE CONSTRUCTION OF THIS PROJECT IS REQUIRED TO BE ASSEMBLED AND POSTED AT THE BUILDING SITE.

3. HVAC SYSTEM TO PROVIDE CONSTANT, EVEN TEMPERATURE THROUGHOUT UNIT, CAPABLE OF MAINTAINING 70° F AT 36" A.F.F. DAMPERS TO BE ACCESSIBLE FOR NECESSARY ADJUSTMENTS. BALANCING OF SYSTEM TO BE PROVIDED AND COORDINATED WITH REGISTER PLACEMENT.

4. LOCATION OF THERMOSTATS AS NECESSARY TO BE COORDINATED WITH OWNER.

I. ALL WORK SHALL CONFORM TO THE 2019 EDITION OF THE STATE OF CALIFORNIA BUILDING CODE AND MILLBRAE AMENDMENTS AND ALL OTHER APPLICABLE CODES. GOVERNING AUTHORITIES AND CODES TAKE PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

2. MECHANICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2019 CMC; PLUMBING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2019 CPC; ELECTRICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA ELECTRICAL CODE AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST UNIFORM FIRE CODE. ALL CODES SHALL BE AS AMENDED BY THE STATE OF CALIFORNIA.

3. VERIFY DIMENSIONS, GRADES, ELEVATIONS AND CRITICAL LOCATIONS, SUCH AS STRUCTURAL SUPPORTS, BEFORE COMMENCING WORK AFFECTED BY THEM. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

4. THE CONTRACTOR SHALL THOROUGHLY REVIEW PLANS AND EXISTING SITE CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES, ERRORS OR OMISSIONS PRIOR TO CONSTRUCTION.

5. DURING CONSTRUCTION, REPORT ALL DISCREPANCIES AND/OR CONFLICTS IN THE DRAWINGS TO THE ARCHITECT IMMEDIATELY.

6. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL WORK REQUIRED FOR A COMPLETELY FINISHED PROJECT.

7. INSTALL ALL MATERIALS AND PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE ICBO REPORTS, FURNISH AND INSTALL ALL REQUIRED FOR A COMPLETE OPERATING SYSTEM.

8. DIMENSIONS SHALL GOVERN ON WORKING DRAWINGS. DO NOT SCALE DRAWINGS.

9. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE NOTES, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.

10. ALL SHEET METAL FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF SMACNA, THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION MANUAL.

11. NEITHER THE ARCHITECT, NOR THE OWNER SHALL BE RESPONSIBLE FOR: CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONTRACTOR; SAFETY PRECAUTIONS AND PROGRAMS OF CONTRACTOR; THE ACTS OR OMISSIONS OF CONTRACTOR; OR THE FAILURE OF CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.

12. THE CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE BUILDING OFFICIAL. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL PER SECTION 303 OF THE INTERNATIONAL BUILDING CODE AS AMENDED BY THE CALIFORNIA AMENDMENTS.

13. THE ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR UNDERGROUND UTILITIES NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS. THE LOCATION OF EXISTING UNDERGROUND UTILITY FACILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY; THE CONTRACTORS SHALL CONTACT THE RESPECTIVE UTILITY COMPANY & PROVIDE UTILITY LOCATION SERVICES AS REQUIRED TO OBTAIN THE EXACT DEPTH OF BURIAL AND HORIZONTAL LOCATION OF UTILITY LINES, CONDUITS, PIPING, ETC.. PRIOR TO PERFORMING UNDERGROUND CONSTRUCTION, THE CONTRACTORS SHALL MAKE THE NECESSARY PROBES AND EXPLORATION TO IDENTIFY AREAS OF POSSIBLE CONFLICT WITH THE PROPOSED WORK.

3. PROVIDE AN R-6 INSULATION JACKET AT ALL WATER HEATERS. PRESSURE RELIEVE VALVES MUST BE PROVIDED PRIOR TO INSTALLATION OF THE JACKET. A MINIMUM OF THE FIRST 5' OF BOTH HOT AND COLD WATER PIPES SHALL BE INSULATED (1" THICK).

4. EXISTING WATER SERVICE AND SEWER LATERAL REMAIN.



ARCHITECTURAL SHEETS

A1.0	TITLE SHEET AND GENERAL NOTES
A1.1	COUNTY BMPs AND CHECKLIST FOR SMALL PROJECTS
A2.0	EXISTING/DEMO AND PROPOSED SITE PLAN
A2.1	GENERAL SITE NOTES AND SITE DIAGRAMS
A3.0	EXISTING/DEMO FLOOR PLAN
A3.1	PROPOSED FIRST FLOOR PLAN
A3.2	PROPOSED SECOND FLOOR PLAN
A3.3	EXISTING AND PROPOSED FLOOR AREA CALCULATIONS
A4.0	PROJECT CONTEXT AND 3D PERSPECTIVE VIGNETTES
A4.1	EXISTING/DEMO AND PROPOSED ELEVATIONS
A4.2	EXISTING/DEMO AND PROPOSED ELEVATIONS
A4.3	EXISTING/DEMO AND PROPOSED ELEVATIONS
A4.4	EXISTING/DEMO AND PROPOSED ELEVATIONS
A5.0	BUILDING SECTIONS
A6.0	EXISTING/DEMO AND PROPOSED ROOF PLANS
A10.0	SITE SURVEY

THE PROJECT CONSISTS OF:

REMODEL AND ADDITION TO AN EXISTING ONE-STORY SINGLE FAMILY RESIDENCE WITH (4) BEDROOMS AND TWO BATHROOMS WITH TWO CAR GARAGE. HORIZONTAL AND VERTICAL ADDITION TO PROVIDE (4) BEDROOMS + (1) STUDY AND (5.5) BATHS.

CODE REFERENCES:

ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE 2019 CALIFORNIA CODE OF REGULATIONS TITLE 24: BUILDING CODE (CBC); RESIDENTIAL BUILDING CODE (CRC); GREEN BUILDING CODE (GBC); ELECTRICAL CODE (CEC); MECHANICAL CODE (CMC); PLUMBING CODE (CPC); ENERGY CODE [2019 ENERGY STANDARDS] (CNC), WITH MILLBRAE MUNICIPAL CODE AMENDMENTS.

Map showing the location of the Project Site (5 Conely Dr, Millbrae, CA 94030) relative to surrounding streets (Marston E, Marston Dr, Marston Ct, Marston Pl, Marston Ln, Marston St, Marston Ave, Marston Rd).

ZONING	R-1, SINGLE FAMILY RESIDENTIAL	
APN	024-451-030	
OCCUPANCY	R-3	
CONSTRUCTION TYPE	V-B (NO CHANGE)	
REQUIRED SETBACKS	20'-0" (FRONT) / 10'-0" # 5'-0" (SIDE) / 10'-0" REAR)	
LOT AREA	± 10,300 SF	
LOT COVERAGE	± 5,150 SF (ALLOWED) [50%] ± 2,689 SF (EXISTING) [26%] ± 3,373 SF (PROPOSED) [33%] MAX F.A.R. 10,300-2,933 = 7,367 SF (ADJUSTED LOT AREA) 7,367 x 0.55 = 4,052 SF (ALLOWED) 2,529 SF (EXISTING) [34%] 3,981 SF (PROPOSED) [54%]	
PARKING	(2) COVERED + (2) UNCOVERED (EXISTING) (2) COVERED + (2) UNCOVERED (PROPOSED)	
<u>AREA</u>	<u>EXISTING</u>	<u>PROPOSED</u>
SECOND FLOOR	± 0 SF	± 589 SF
FIRST FLOOR	± 2,050 SF	± 2,765 SF
GARAGE	± 479 SF	± 535 SF
	± 2,050 SF (CONDITIONED)	± 3,354 SF (CONDITIONED)
	± 2,529 SF	± 3,889 SF (TOTAL FLOOR AREA)

SEE CITY OF MILLBRAE SINGLE FAMILY RESIDENTIAL DESIGN REVIEW
WORKSHEET, SHEET AO.2, FOR ADDITIONAL PROJECT DATA

ARCHITECT: JARED KUYKENDALL, LEED AP BD+C
STUDIO 797
1618 SULLIVAN AVENUE #486
DALY CITY, CA 94015
415.871.9976

SURVEYOR: B & H SURVEYING, INC.
901 WALTERMIRE STREET
BELMONT, CA 94002
650.637.1590

TITLE SHEET, GENERAL NOTES, AND ABBREVIATIONS

REVISIONS

ISSUE DATE
MARCH 18, 202

DRAWN BY
JM

JOB NUMBER
SMIL

Al.O

studio797
residential | commercial | design | drafting

1618 sullivan avenue #486
daly city, ca 94015
jared.kuykendall / 415.871.9976

OWNER:
CINDY WONG
5 CONEJO DRIVE
MILLBRAE, CA



ABV	ABOVE	OB5	OBSCURE
ADJ	ADJACENT	OC	ON CENTER
ADJT	ADJUSTABLE	OCF	OPENING
AGG	AGGREGATE	OPF	OPPOSITE
ACC	AIR CONDITIONING	OD	OUTSIDE DIAMETER
ALT	ALTERNATE		
ALUM	ALUMINUM	PNL	PANEL
AB	ANCHOR BOLT	PKG	PARKING
ANOD	ANODIZED	PERF	PERFORATED
APPROX	APPROXIMATE	PLAS	PLASTER
ARCH	ARCHITECTURAL	PLAM	PLASTIC LAMINATE
AD	AREA DRAIN	PL	PLATE
ASPH	ASPHALT	PG	PLATE GLASS
AUTO	AUTOMATE	PLWD	PLYWOOD
		PT	PRESSURE TREATED
BSMT	BASEMENT	PVC	POLYVINYL CHLORIDE
BET	BETWEEN	FTN	PARTITION
BTWN	BETWEEN	FTR	PAPER TOWEL
BIT	BITUMINOUS		
BLK	BLOCK	PTD	RECEPTACLE
BLKG	BLOCKING	R	PAINT(ED)
BD	BOARD	R	RISER
BO	BOTTOM	RA	RETURN AIR
BLDG	BUILDING	RAD	RADIUS
BURS	BUILT UP ROOFING SYSTEM	RD	ROOF DRAIN
		REM	REMOVE
CAB	CABINET	REV	REVISION
CPT	CARPET	REF	REFERENCE
CSMT	CASEMENT	REFRIG	REFRIGERATOR
CI	CAST IRON	REG	REGISTER
CB	CATCH BASIN	RES	RESILIENT
CLG	CEILING	RM	ROOM
CEM	CEMENT	RW	ROUGH OPENING
FER	CERAMIC	RWL	RAINWATER LEADER
CIR	CIRCLE	SNT	SEALANT
COL	CLEAR COLUMN	SEC	SECTION
COMB	COMBINATION	SHEATG	SHEATHING
CONC	CONCRETE	SHT	SHEET
CONSTR	CONSTRUCTION	SHF	SHIELD
CONT	CONTINUOUS	SIM	SIMILAR
		SC	SOLID CORE
DEM	DEMOLISH/DEMOLITION	SPEC	SPECIFICATION
DETAIL	DETAIL	SQ	SQUARE
DIAG	DIAGONAL	STL	STEEL
DIAM	DIAMETER	STD	STANDARD
DIM	DIMENSION	STO	STORAGE
DR	DOOR	SD	STORM DRAIN
DRH	DOUBLE HUNG	STRUCT	STRUCTURAL
D5	DOWN SPOUT	SUSP	SUSPENDED
DWG	DRAWING	SYS	SYMMETRY/SYMMETRIC SYSTEM
		SND	SANITARY NAPKIN DISPENSER
(E)	EXISTING	SSD	SEE STRUCTURAL DRAWINGS
ELEC	ELECTRICAL	SCD	SEAT COVER
EMER	EMERGENCY		
EQ	EQUIPMENT		
EST	ESTIMATE		
EXH	EXHAUST	TBD	TO BE DETERMINED
EXP	EXPOSED	TEL	TELEPHONE
EXT	EXTERIOR	THK	TELEVISION
		THR	THICK
FOC	FACE OF CONCRETE	THR	THRESHOLD
FOF	FACE OF FINISH	T&G	TONGUE & GROOVE
FOM	FACE OF MASONRY	TOW	TOP OF WALL
FOS	FACE OF STUD	TYF	TYPICAL
FIN	FINISH	TP	TOP OF PAVEMENT
FLG	FLOORING	TC	TOP OF CURB
FD	FLOOD DRAIN	TB	TOWEL BAR
FLUR	FLUORESCENT		
FTG	FOOTING	UNF	UNFINISHED
FND	FOUNDATION	UNO	UNLESS NOTED OTHERWISE
FUT	FUTURE	UR	URINAL
GA	GAUGE	VB	VAPOR BARRIER
GALV	GALVANIZED	VERT	VERTICAL
GI	GALVANIZED IRON	VG	VERTICAL GRAIN
GB	GRAB BAR	VT	VINYL TILE
GYP BD	GYPSUM WALL BOARD		
GSM	BOARD GALVANIZED SHEET	WST	WAINSCOT
GWB	GYPSUM WALLBOARD	WH	WALL HUNG
		WC	WATER CLOSET
		WP	WATER PROOFING
HDR	HEADER	WR	WATER REPELLENT
HTG	HEATING	W	WINDOW
HVAC	HEATING/VENTILATION/AIR CONDITIONING	WG	WIRE GLASS
		WM	WIRE MESH
HT	HEIGHT	W/O	WITHOUT
HB	HOBSE BIB	WD	WOOD
HHW	HOT WATER HEATER	WB	WOOD BASE
		W	WROUGHT IRON
ID	INSIDE DIAMETER	W	WITH
INSUL	INSULATION	WRGWB	WATER RESISTIVE GYPSUM WALLBOARD
INT	INTERIOR		
JAN	JANITOR		
JT	JOINT		
KID	KITCHEN		
KJ	KILN DRIED		
LAD	LANDSCAPE ARCH. DRAWINGS		
LB	LAG BOLT		
LAM	LAMINATE(D)		
LAV	LAVATORY		
LT	LIGHT		
LVR	LOUVER		
MAX	MAXIMUM		
MB	MACHINE BOLT		
MEMB	MEMBRANE		
MECH	MECHANICAL		
MH	MAN HOLE		
MIN	MINIMUM		
MIR	MIRROR		
MISC	MISCELLANEOUS		
MFR	MANUFACTURER		
MO	MASONRY OPENING		
MOD	MODULAR		
MTD	MOUNTED		
MTL	METAL		
MUL	MULLION		
NAT	NATURAL		
NOM	NOMINAL		
(N)	NEW		
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		



Clean Water. Healthy Community.

☐ Never clean brushes or rinse p

- containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinners or solvents in a proper container. Filter to reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state certified contractor.

- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. Where possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.

- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of

- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.

- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

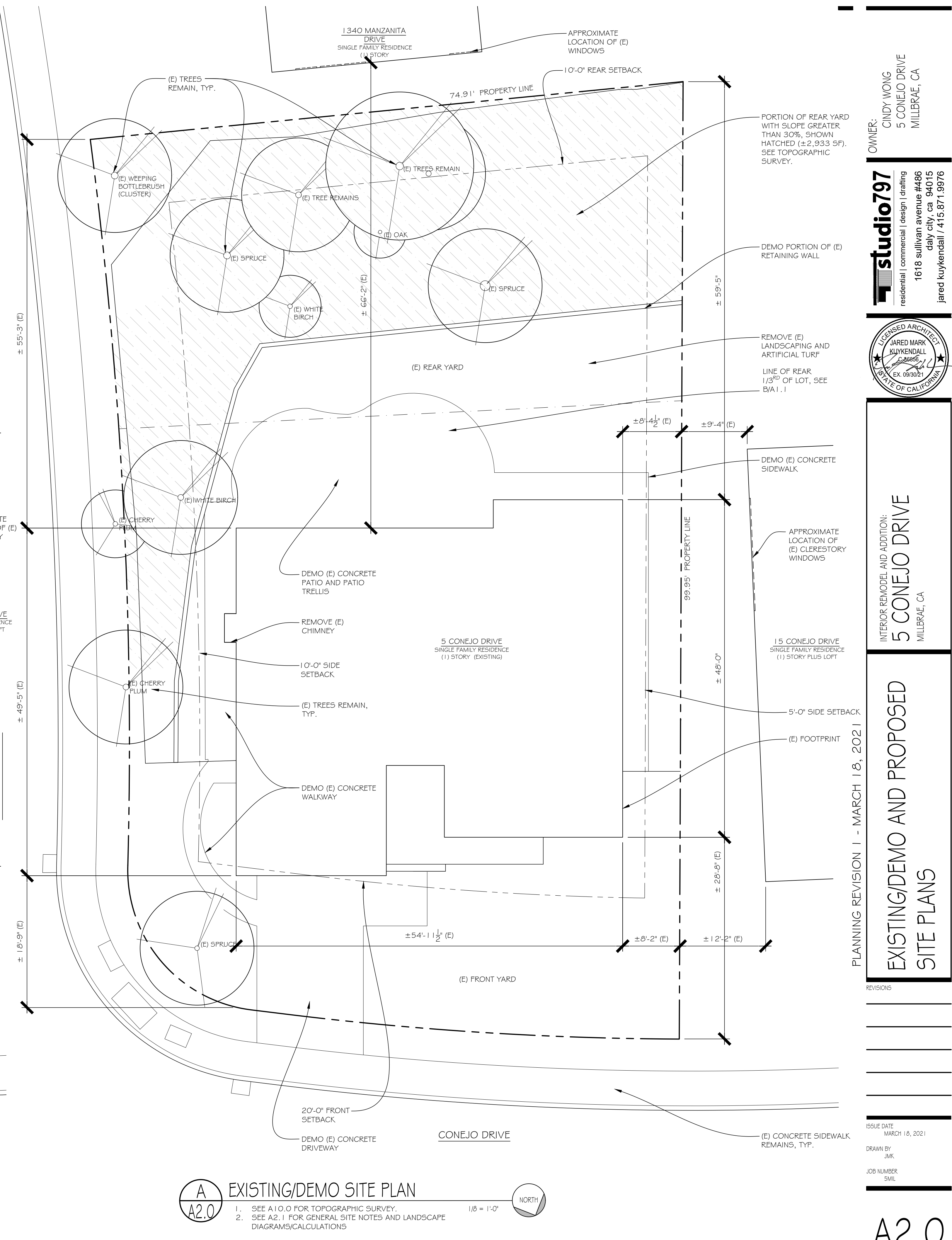
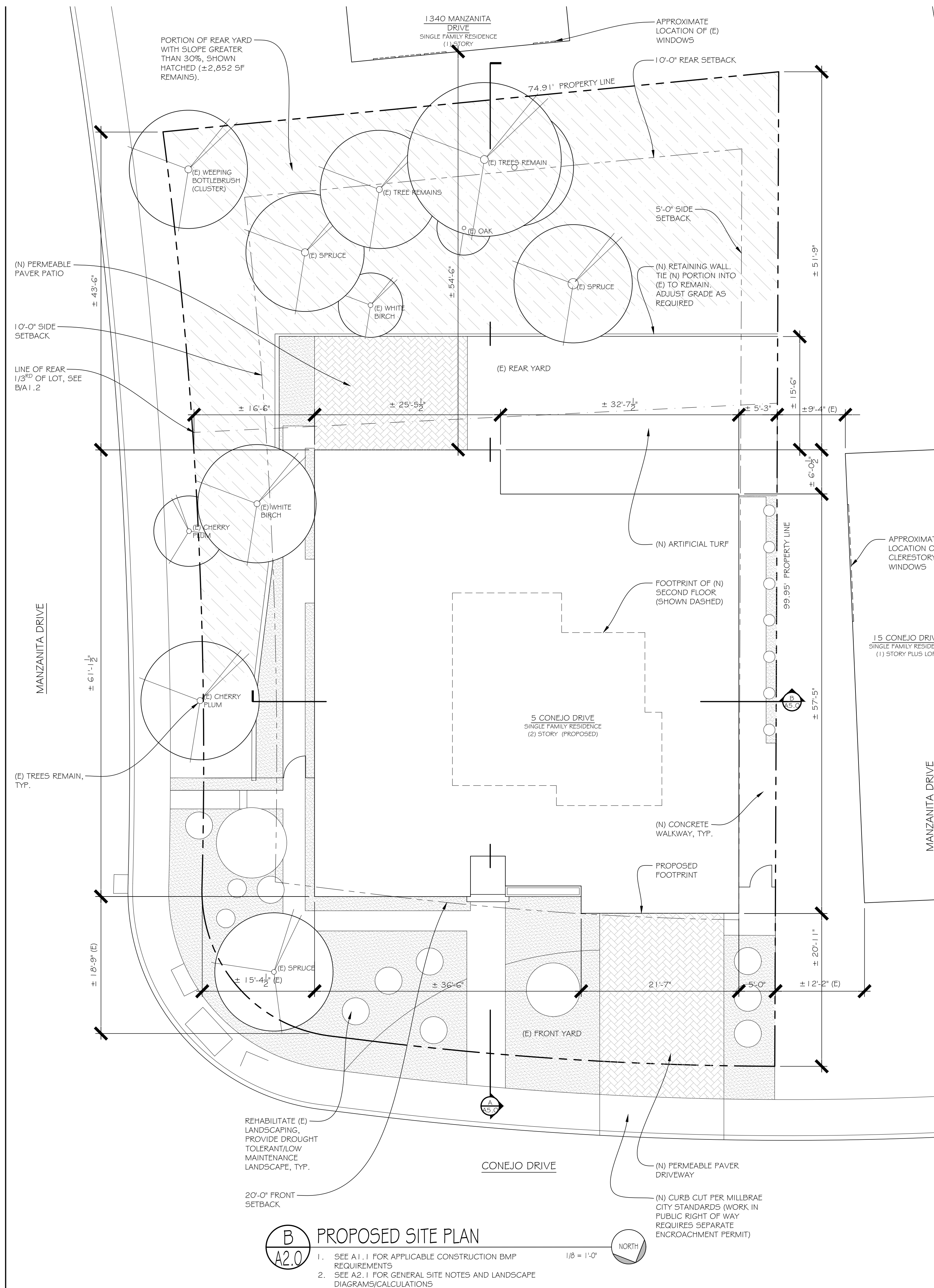
- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

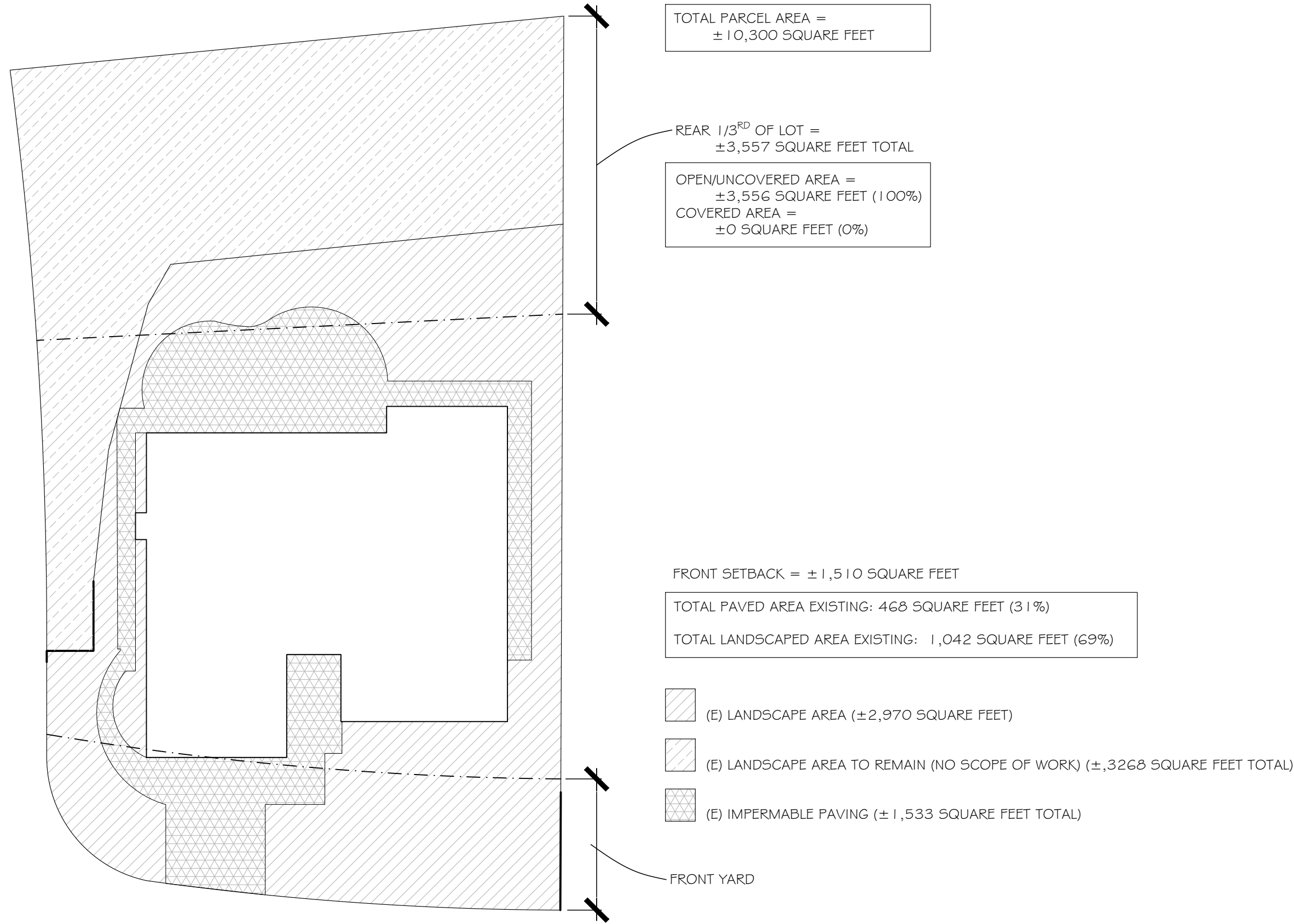
- ☐ Keep spill cleanup materials (e.g., rags, absorbents, cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.

- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.

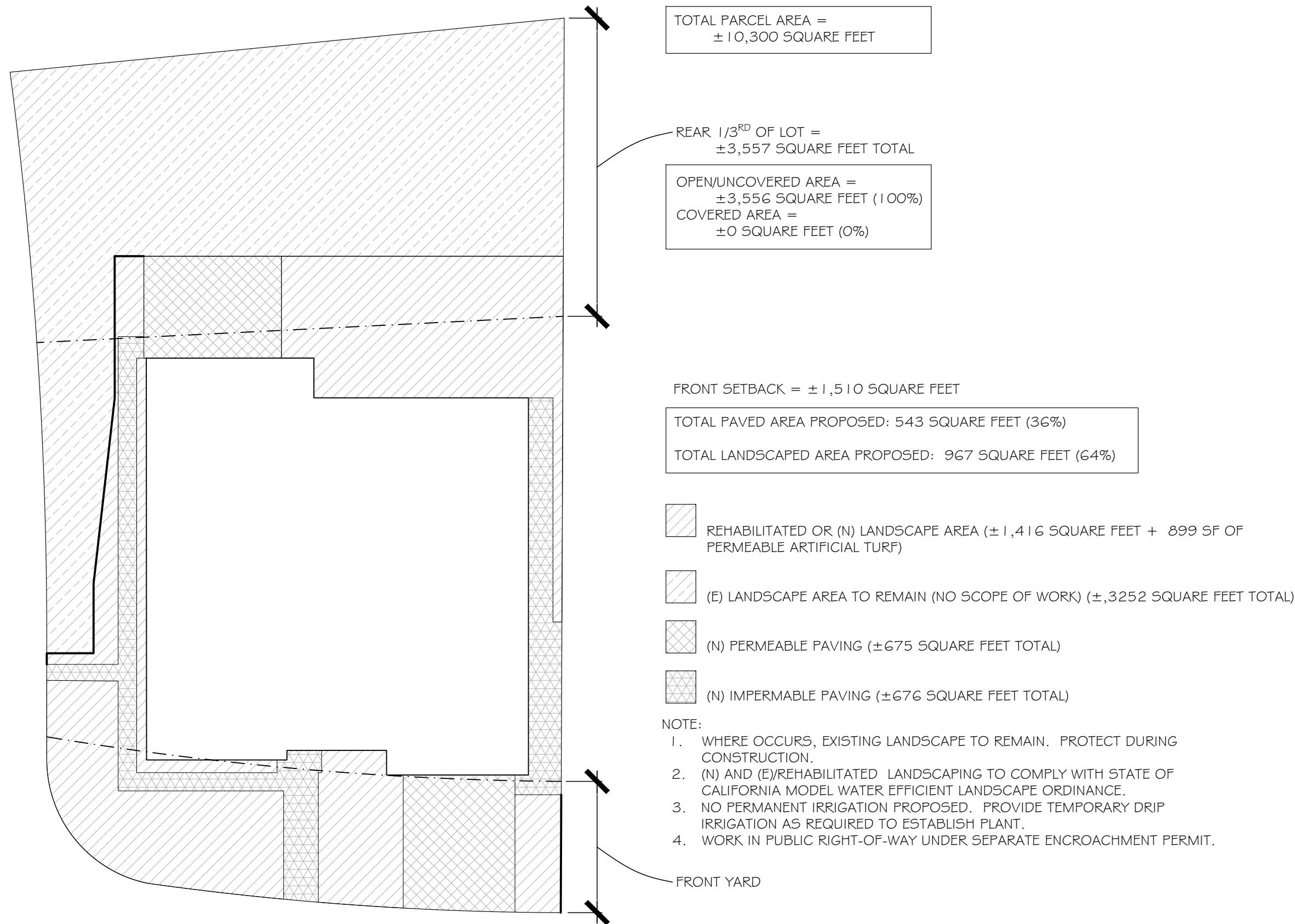
☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality

- Unusual soil conditions, discoloration or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash.





B
A2.1
(E) LANDSCAPE DIAGRAM
1/16" = 1'-0" NORTH



B
A2.1
PROPOSED LANDSCAPE DIAGRAM
1/16" = 1'-0" NORTH

- GRADING AND DRAINAGE NOTES
1. UTILIZE ON-SITE INFILTRATION AS MUCH AS POSSIBLE TO HANDLE ROOF AND SITE DRAINAGE.
 2. DIRECT SITE DRAINAGE SO THAT STORM WATER WILL FLOW TO ON-SITE LAWN OR PERVIOUS LANDSCAPED AREAS AS INDICATED WITHOUT CREATING PONDING OR EROSION.
 3. ALL DOWNSPOUTS (DS) SHALL BE CONNECTED TO SPLASH BLOCKS MINIMUM 2'-0" LONG AND SITUATED TO DEFLECT WATER AWAY FROM THE BUILDING AND FLOW TO ON-SITE LAWN OR PREVIOUS LANDSCAPED AREAS. ARROWS USED TO INDICATE DIRECTION FLOW OF WATER.
 4. MINIMIZE EXCESSIVE WATER FLOW AROUND EXISTING TREES.
 5. NO CONCENTRATED FLOW IS ALLOWED TO TRAVEL OVER ANY SIDEWALKS OR PARKING STRIP AREAS.
 6. THE STORM RUNOFF GENERATED BY THE NEW DEVELOPMENT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.
 7. STORM WATER FROM ALL IMPERVIOUS SURFACES THAT IS NOT TO BE HANDLED BY ON-SITE INFILTRATION SHALL BE ROUTED THROUGH VEGETATED SWALES OR OTHER COMPARABLE BEST MANAGEMENT PRACTICES (BMP) PRIOR TO DISCHARGE TO THE PUBLIC STORM DRAIN SYSTEMS.
 8. THE MINIMUM SLOPE ADJACENT TO THE STRUCTURE FOR DRAINAGE IS 5% SLOPING AWAY FROM THE STRUCTURE FOR A MINIMUM OF 1'-0".
 9. THE GRADING AND DRAINAGE DESIGN FOR THE PROJECT SHALL COMPLY WITH ALL APPLICABLE NPDES REGULATIONS TO CONTROL STORM WATER POLLUTION.

- LANDSCAPE GENERAL NOTES
1. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO COMPLETE PROPOSED WORK PER CITY REQUIREMENTS.
 2. CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, SITE IMPROVEMENTS, WATERPROOFING AND UNDERGROUND PIPING BEFORE CONSTRUCTION BEGINS. THE ARCHITECT ASSUMES NO LIABILITY FOR DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES OR PROBLEMATIC SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
 3. WORK WITHIN THE RIGHT OF WAY IS SUBJECT TO INSPECTION AND APPROVAL BY THE CITY. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM PUBLIC WORKS DEPARTMENT PRIOR TO WORK WITHIN THE RIGHT OF WAY. THIS WORK MAY INCLUDE LANDSCAPING IN THE RIGHT OF WAY, NEW CURB DRAINS, AND PARKING STRIP.
 4. FINISHED GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SHALL BE PROPERLY INSTALLED TO PREVENT ANY STANDING WATER. ALL HARDSCAPE SHALL HAVE A MINIMUM GRADE OF 2% UNLESS NOTED OTHERWISE. JUTE MESH EROSION CONTROL NETTING SHALL BE USED ON ALL 3:1 OR GREATER SLOPES & STAKED APPROPRIATELY.
 5. CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING TREES BY INSTALLING TEMPORARY FENCING AROUND THE TREES AS CLOSE AS POSSIBLE TO THE DRIPLINE. IN THE EVENT THAT TREE ROOTS OVER 6" ARE DISCOVERED, THE ARCHITECT SHOULD BE CONTACTED.
 6. CONTRACTOR SHALL REFER TO ARCHITECTURAL, CIVIL, & OTHER ENGINEERING DRAWINGS / DOCUMENTS FOR WORK IN RELEVANT AREAS.
 7. THE ARCHITECT MAY MAKE SITE OBSERVATIONS DURING CONSTRUCTION BUT SHALL NOT BE UTILIZED TO SUPERVISE CONSTRUCTION ONSITE.

- PLANTING NOTES
1. LANDSCAPE CONTRACTOR SHALL VERIFY PLANT AND SOD QUANTITIES PRIOR TO SUBMITTING BID FOR WORK.
 2. ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST STANDARDS OF NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 3. PLANT MATERIAL CANNOT BE GUARANTEED AS DEER RESISTANT DUE TO CHANGING HABITS OF DEER.
 4. ALL PLANTING AREAS SHALL BE COVERED WITH A LAYER OF BARK MULCH TO A MINIMUM DEPTH OF 3 INCHES, WITH A CHIP SIZE OF NO LESS THAN ONE INCH. A 2 INCH LAYER OF GREENWASTE MULCH UNDER THE BARK MULCH IS RECOMMENDED.
 5. SOIL AMENDMENTS SHALL BE USED AS NECESSARY. SOIL AMENDMENT SHALL BE FREE OF DEBRIS. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS ARE NOT PERMITTED IN TYPICAL NATIVE PLANT LANDSCAPE AREAS.
 6. PLANTING HOLES SHALL GENERALLY BE 2X - 3X THE SIZE OF THE ROOT BALL. THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH 5% ORGANIC COMPOST & 95% EXISTING SOIL. PLANTING HOLES OF NATIVE PLANT MATERIAL SHOULD BE INOCULATED WITH MYCORRHIZAL FUNGI, PER MANUFACTURER'S SPECS.
 7. TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIA. POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.
 8. RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR AS NECESSARY. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
 9. LAWN SHALL NOT BE INSTALLED ON SLOPES GREATER THAN 25%. ALL TURF AREAS SHALL BE FERTILIZED AT TIME OF INSTALLATION.
 10. (N) AND (E) REHABILITATED LANDSCAPING TO COMPLY WITH STATE OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
 11. NO PERMANENT IRRIGATION PROPOSED. PROVIDE TEMPORARY DRIP IRRIGATION AS REQUIRED TO ESTABLISH PLANT.

PLANNING REVISION 1 - MARCH 18, 2021

REVISIONS

ISSUE DATE
MARCH 18, 2021

DRAWN BY
JMK

JOB NUMBER
SHL

OWNER:
CINDY WONG
5 CONEJO DRIVE
MILLBRAE, CA
1618 sullivan avenue #486
day city, ca 94015
jared.kuykendall / 415.871.9976



INTERIOR REMODEL AND ADDITION:
5 CONEJO DRIVE
MILLBRAE, CA

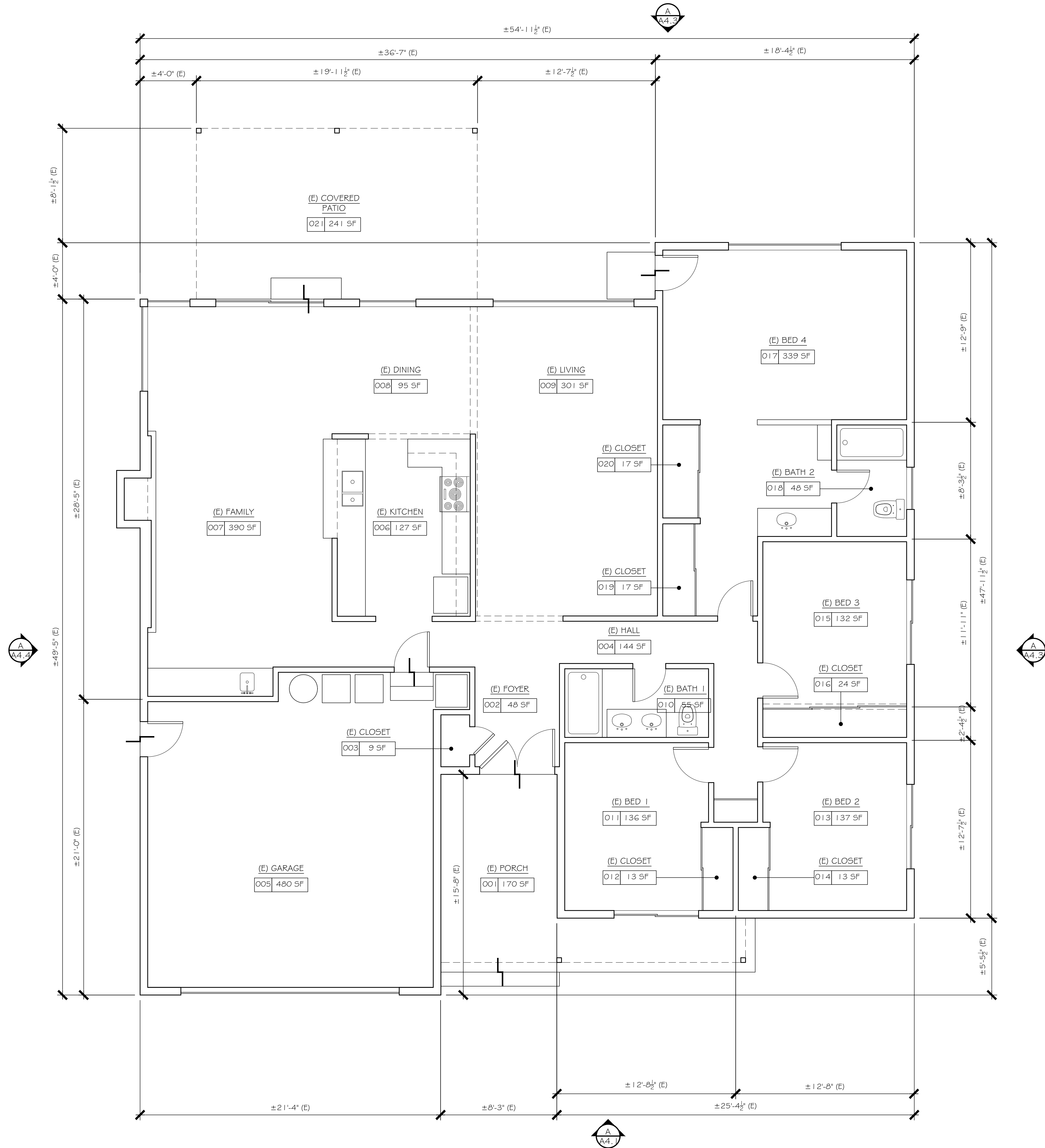
SITE PLAN NOTES AND
CALCULATIONS

A2.1

(E) FIRST FLOOR

LABEL	ROOM	AREA
001	(E) COVERED PORCH	170 SQUARE FEET
002	(E) FOYER	48 SQUARE FEET
003	(E) CLOSET	9 SQUARE FEET
004	(E) HALL	144 SQUARE FEET
005	(E) GARAGE	480 SQUARE FEET
006	(E) KITCHEN	127 SQUARE FEET
007	(E) FAMILY	390 SQUARE FEET
008	(E) DINING	95 SQUARE FEET
009	(E) LIVING	301 SQUARE FEET
010	(E) BATH 1	55 SQUARE FEET
011	(E) BED 1	136 SQUARE FEET
012	(E) CLOSET	13 SQUARE FEET
013	(E) BED 2	137 SQUARE FEET
014	(E) CLOSET	13 SQUARE FEET
015	(E) BED 3	132 SQUARE FEET
016	(E) CLOSET	24 SQUARE FEET
017	(E) BED 4	339 SQUARE FEET
018	(E) BATH 2	42 SQUARE FEET
019	(E) CLOSET	17 SQUARE FEET
020	(E) CLOSET	17 SQUARE FEET
021	(E) PATIO	241 SQUARE FEET

TOTAL 2,936 SQUARE FEET



A3.0 EXISTING/DEMO FIRST FLOOR PLAN

- FLOOR PLAN GENERAL NOTES
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT. FLOOR PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS. ALL WALLS/PARTITIONS ARE DIMENSIONED FROM STUD TO STUD. DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE ACCURATELY MAINTAINED, AND SHALL NOT VARY MORE THAN 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT. SECURE ARCHITECT'S APPROVAL.
 - ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS OR LINES. ALL SCREWS OR OTHER ATTACHMENT DEVICES SHALL BE PATCHED AND NOT VISIBLE. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ADJUST PARTITION THICKNESS AND CAVITY FOR INTERNAL INCLUSIONS, SUCH AS PLUMBING AND FOR CORRECT INSTALLATION OF FIXTURES, PANELS, BOXES, ETC. ALL EXPOSED GYPSUM BOARD EDGES TO HAVE METAL EDGE TRIM. ALIGNMENT ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE, AND IN PROPER AUGMENT.
 - USE NON-ABSORBENT FINISH MATERIALS BELOW 72" IN BATHROOMS. INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - USE 4X10 DF/I HEADERS IN ALL OPENINGS, WINDOWS & DOORS, U.O.N.
 - ALL WINDOW AND EXTERIOR DOORS SHALL BE DBL. GLAZED. WEATHER-STRIPPED AND FLASHED.
 - NEW AND RETROFIT WINDOWS SHALL BE MAXIMUM 0.32 U-FACTOR. NFRC TEMPORARY LABELING SHALL NOT BE REMOVED UNTIL AFTER INSPECTION. SEE ALSO SHEET T1 & T2.
 - NEW TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL.
 - WATER HEATER SHALL BE SEISMICALLY ANCHORED TO INCLUDE ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER 1/3 OF ITS VERTICAL DIMENSION. THE LOWER STRAPS/ANCHORED LOCATED TO MAINTAIN A MIN. DISTANCE OF 4" ABOVE THE CONTROLS.
 - WATER HEATER MUST BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALVANIZED STEEL OR HAND DRAWN COPPER TO THE OUTSIDE OF THE BLDG. WITH THE END OF THE PIPE NOT MORE THAN (2) TWO FT. OR LESS SIX INCHES ABOVE THE GRADE. POINTING DOWNWARD. THE TERMINAL AND BEING UNTHREADED.
 - WHERE A FORCE AIR FURNACE SHALL BE LOCATED IN ATTIC. PROVIDE A 30"x30" MIN. ACCESS TO ACCESS THE FURNACE. CONSTRUCT A 24" WIDE PLATFORM PATH FROM ACCESS OPENING TO FAU AND SPECIFY AN ELECTRICAL RECEPTACLE AT THE FAU AND A LIGHT SWITCHED AT THE ACCESS OPENING.
 - MAX FLOOR LEVEL CHANGE AT DOOR IS 1.5" EXCEPT IF STAIRS ARE USED AND DOOR(S) DO NOT SWING OVER THE TOP STEP.
 - GLASS DOORS AND WINDOWS ARE SUBJECT TO HUMAN IMPACT MUST HAVE SAFETY GLAZING, OR PROTECTIVE GRILL, OR PUSH BAR.
 - NFRC TEMPORARY LABELING ON NEW WINDOWS OR DOORS SHALL NOT BE REMOVED UNTIL INSPECTED BY THE ENFORCEMENT AGENCY.
 - EMERGENCY ESCAPE WINDOWS FOR SLEEPING ROOMS MUST:
 - MIN. NET CLEAR OPERABLE AREA 5.7 SF.
 - MIN. NET CLEAR OPERABLE WIDTH 20 INCHES.
 - MIN. NET CLEAR OPERABLE HEIGHT 24 INCHES.
 - MAX. SILL HEIGHT ABOVE FLOOR 44 INCHES.
 - HEIGHT OF COMBUSTIBLE MATERIAL ABOVE KITCHEN RANGE SHALL BE 30" (UNPROTECTED) 24" (PROTECTED).
 - TOP OF FOUNDATION MUST BE 8" MIN. ABOVE THE GRADE.
 - UNDER FLOOR ACCESS SHALL BE 18"x24" CLR. WITHOUT PIPE OR INTERFERENCE PER CBC. CLEARANCE FOR UNTREATED WOOD MIN. OF 18" FOR JOIST AND 12" FOR GIRDER. UNDER FLOOR AREA SHALL BE VENTILATED BY OPENINGS OF A NET AREA OF NOT LESS 1/150 OF THE UNDER FLOOR AREA. OPENING SHALL BE PROTECTED BY METAL MESH WITH 1/4" MAX. OPENING.
 - NEW BATHROOM FINISH MATERIALS SHALL HAVE SMOOTH, HARD NON-ABSORBENT SURFACE FOR CERAMIC TILE, A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET.
 - MINIMUM HANDRAIL HEIGHT AT STAIRS OF 34 TO 38 INCHES ABOVE TREAD NOSING (CRC R311.7).
 - HANDRAILS SHALL RETURN TO THE WALL, GUARD OR WALKING SURFACE.
 - THE VENTILATION FAN FOR BATHROOMS SHALL DISCHARGE OUTSIDE THE BUILDING AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
 - ALL NEW FRAMING TO COMPLY WITH CBC 2019 CHAPTER 23.
 - PROTECT ANNULAR SPACES AROUND PIPES, CONDUIT, OR OTHER OPENINGS IN BOTTOM PLATE AT EXTERIOR WALLS.

LEGEND

—	EXISTING WALL TO REMAIN
- - - - -	DEMO EXISTING WALL
—	NEW WALL
///	NEW 1-HOUR WALL

PLANNING REVISION 1 - MARCH 18, 2021

REVISIONS

ISSUE DATE	MARCH 18, 2021
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JOB NUMBER	SHL

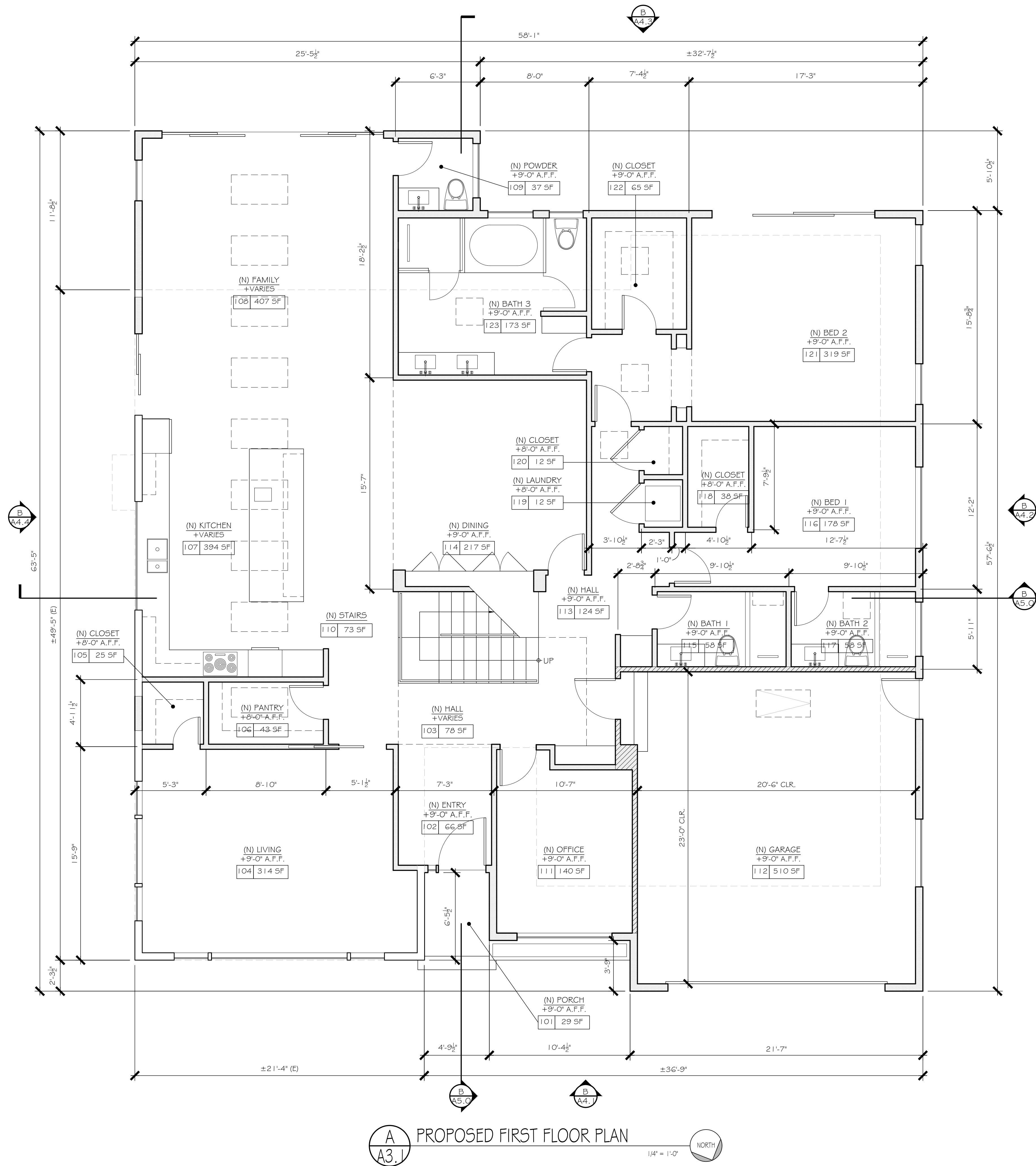
INTERIOR REMODEL AND ADDITION:
5 CONEJO DRIVE
MILLBRAE, CA

EXISTING/DEMO FLOOR PLANS

OWNER:
CINDY WONG
5 CONEJO DRIVE
MILLBRAE, CA
studio797
residential | commercial | design | drafting
1618 sullivan avenue #486
day city, ca 94015
jared kuykendall / 415.871.3976



A3.0



LEGEND

===== EXISTING WALL TO REMAIN

----- DEMO EXISTING WALL

===== NEW WALL

===== NEW 1-HOUR WALL

REVISIONS

ISSUE DATE
MARCH 18, 2021

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JMK

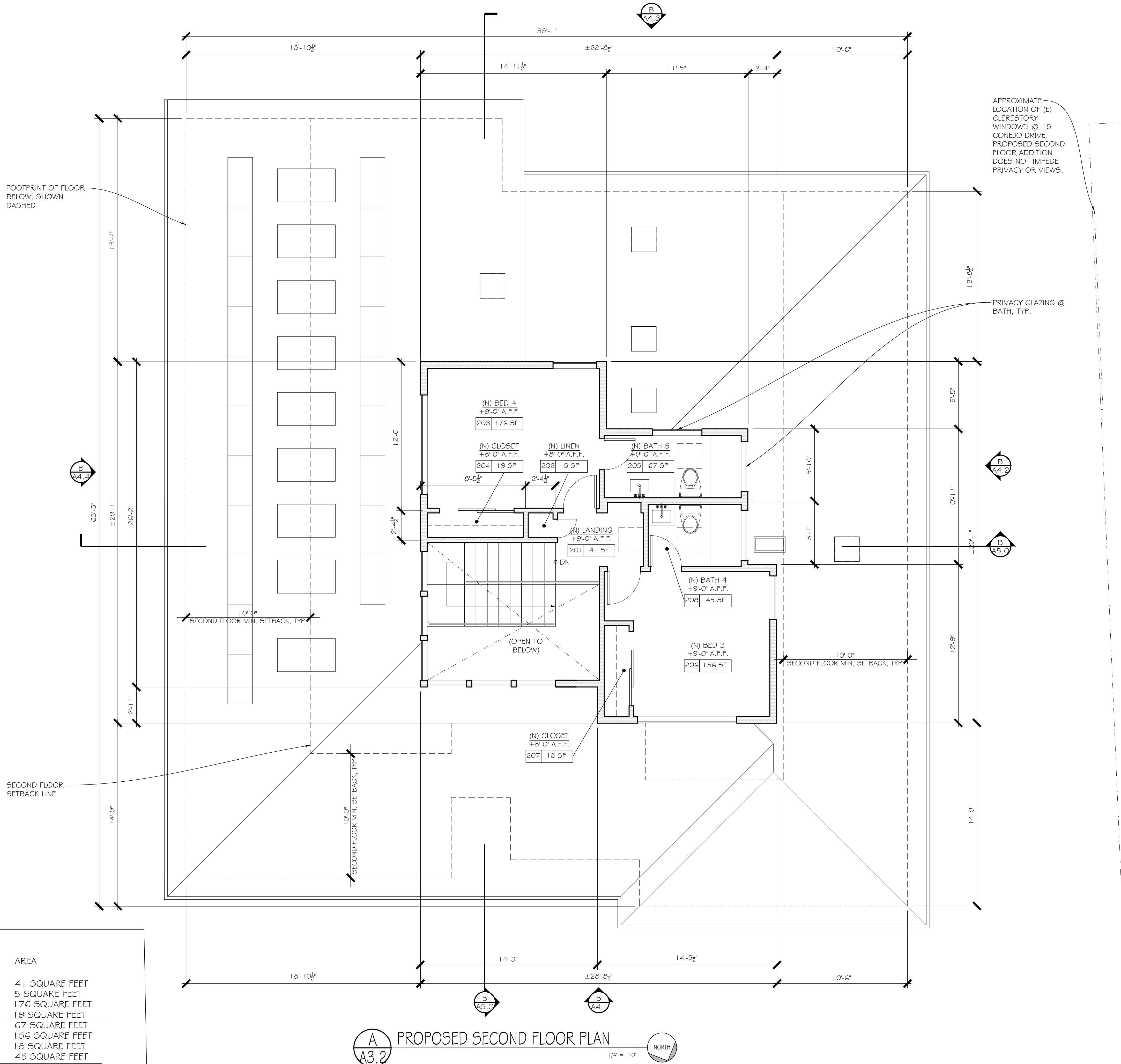
JOB NUMBER
SMIL

PROPOSED FLOOR PLANS

studio797
residential | commercial | design | drafting

1618 sullivan avenue #486
daly city, ca 94015
jared kuykendall / 415.871.5976

OWNER:
CINDY WONG
5 CONEJO DRIVE
MILLBRAE, CA



(N) SECOND FLOOR		
LABEL	ROOM	AREA
201	(N) LANDING	41 SQUARE FEET
202	(N) LINEN	5 SQUARE FEET
203	(N) BED 4	176 SQUARE FEET
204	(N) CLOSET	19 SQUARE FEET
205	(N) BATH 5	67 SQUARE FEET
206	(N) BED 3	156 SQUARE FEET
207	(N) CLOSET	18 SQUARE FEET
208	(N) BATH 4	45 SQUARE FEET
TOTAL		527 SQUARE FEET

- FLOOR PLAN GENERAL NOTES
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- LEGEND
- EXISTING WALL TO REMAIN
 - DEMO EXISTING WALL
 - NEW WALL
 - NEW 1-HOUR WALL

OWNER:
studio797
residential | commercial | design | drafting
1618 sullivan avenue #486
day city, ca 94015
jared kuykendall / 415.871.3976



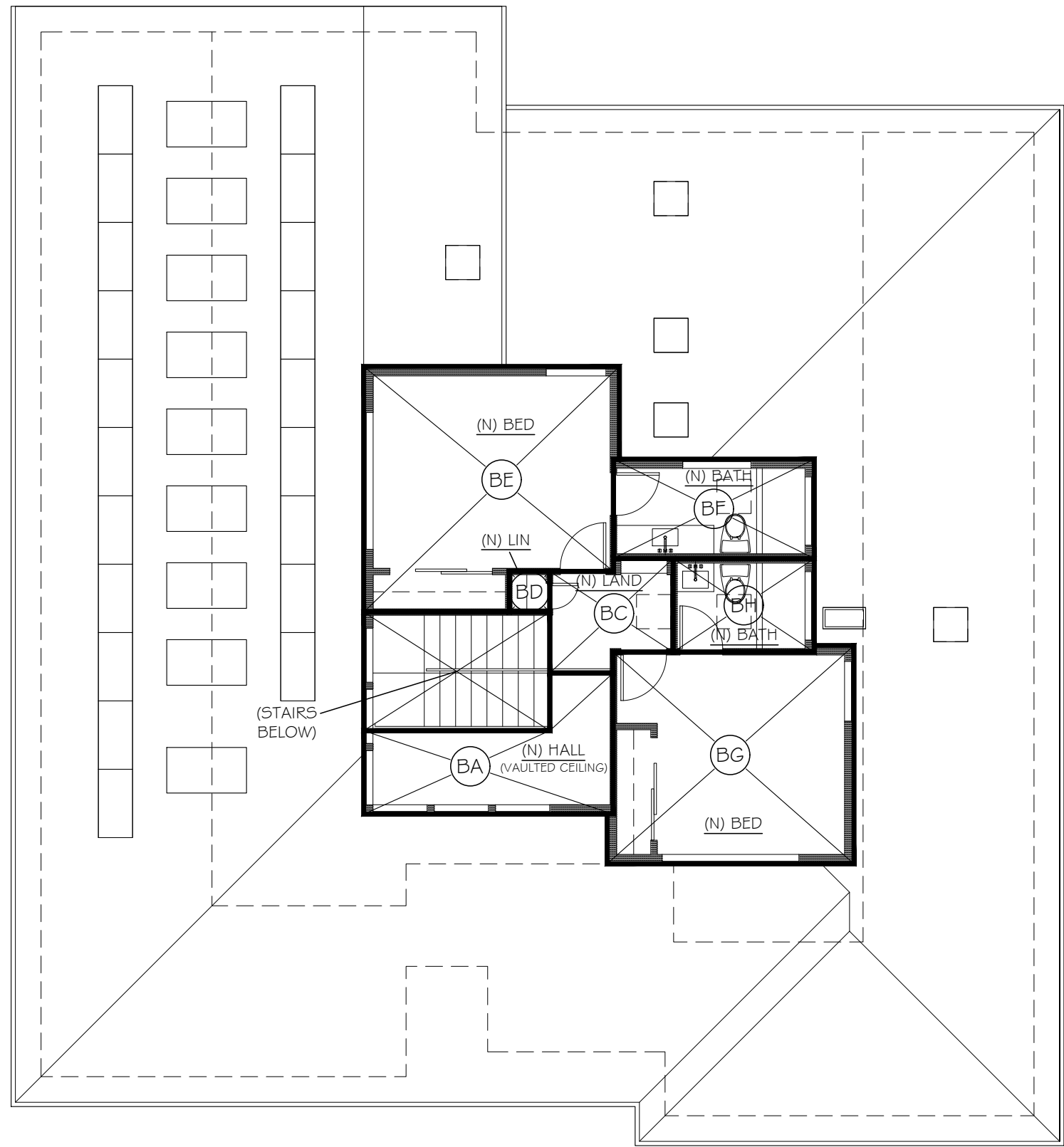
INTERIOR REMODEL AND ADDITION:
5 CONEJO DRIVE
MILLBRAE, CA

PLANNING REVISION 1 - MARCH 18, 2021
PROPOSED FLOOR PLANS

REVISIONS

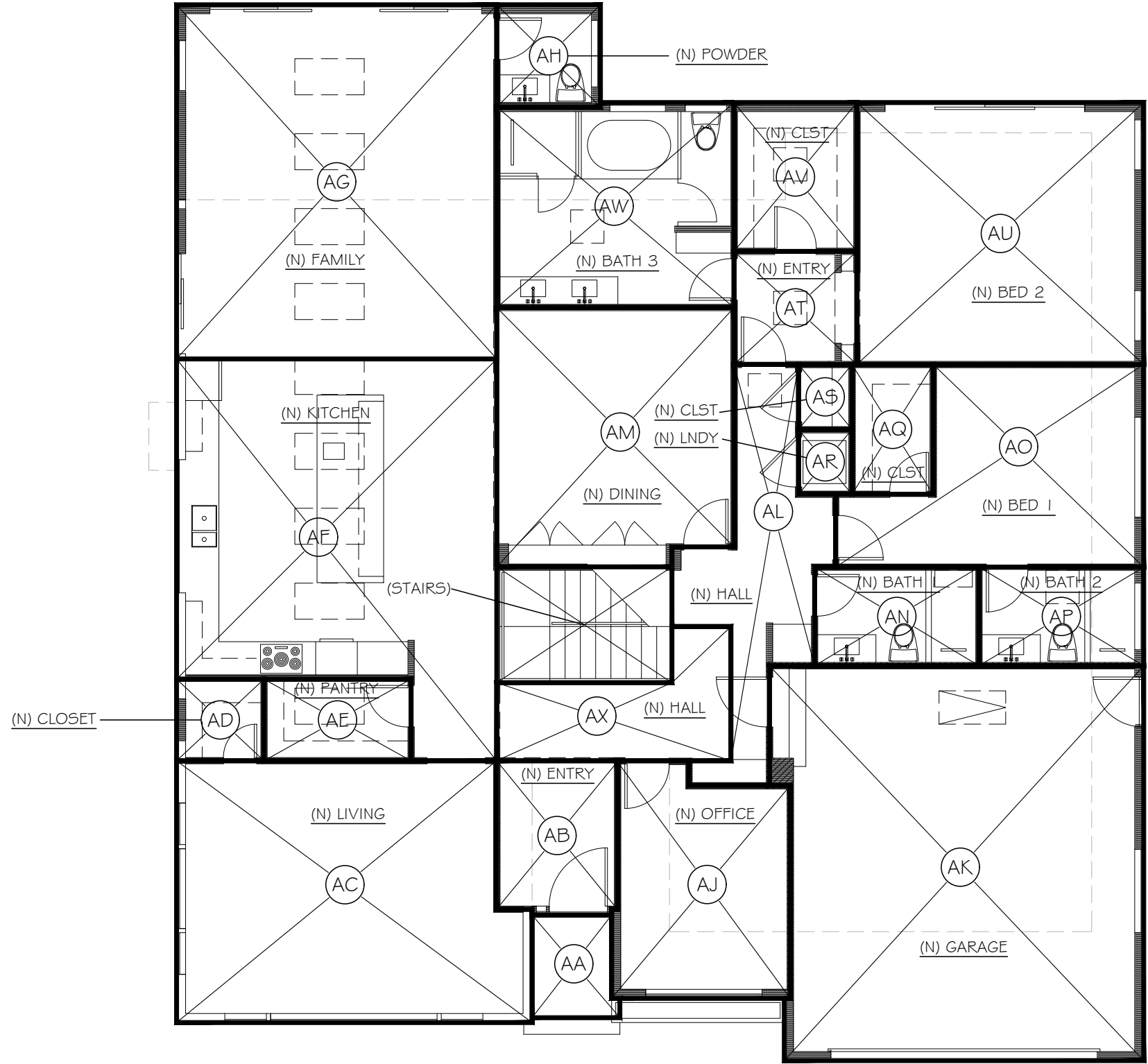
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JMK
JOB NUMBER
SML

A3.2



(N) SECOND FLOOR (SEE A3.2)

LABEL	ROOM	AREA
(BA)	(N) HALL	83 SQUARE FEET (PORTION OF VAULTED CEILING)
(BB)	N/A	
(BC)	(N) LANDING	41 SQUARE FEET
(BD)	(N) LINEN	5 SQUARE FEET
(BE)	(N) BED	195 SQUARE FEET
(BF)	(N) BATH	67 SQUARE FEET
(BG)	(N) BED	174 SQUARE FEET
(BH)	(N) BATH	45 SQUARE FEET
TOTAL		610 SQUARE FEET



(N) FIRST FLOOR (SEE A3.1)

LABEL	ROOM	AREA
(AA)	COVERED PORCH	29 SQUARE FEET
(AB)	(N) ENTRY	66 SQUARE FEET
(AC)	(N) LIVING	314 SQUARE FEET
(AD)	(N) CLOSET	25 SQUARE FEET
(AE)	(N) PANTRY	43 SQUARE FEET
(AF)	(N) KITCHEN	394 SQUARE FEET
(AG)	(N) FAMILY	407 SQUARE FEET
(AH)	(N) POWDER	37 SQUARE FEET
(AI)	N/A	
(AJ)	(N) OFFICE	140 SQUARE FEET
(AK)	(N) GARAGE	510 SQUARE FEET
(AL)	(N) HALL	124 SQUARE FEET
(AM)	(N) DINING	217 SQUARE FEET
(AN)	(N) BATH 1	58 SQUARE FEET
(AO)	(N) BED 1	178 SQUARE FEET
(AP)	(N) BATH 2	58 SQUARE FEET
(AQ)	(N) CLOSET	38 SQUARE FEET
(AR)	(N) LAUNDRY	12 SQUARE FEET
(AS)	(N) CLOSET	12 SQUARE FEET
(AT)	(N) ENTRY	50 SQUARE FEET
(AU)	(N) BED 2	269 SQUARE FEET
(AV)	(N) CLOSET	65 SQUARE FEET
(AW)	(N) BATH 3	173 SQUARE FEET
(AX)	(N) HALL	78 SQUARE FEET

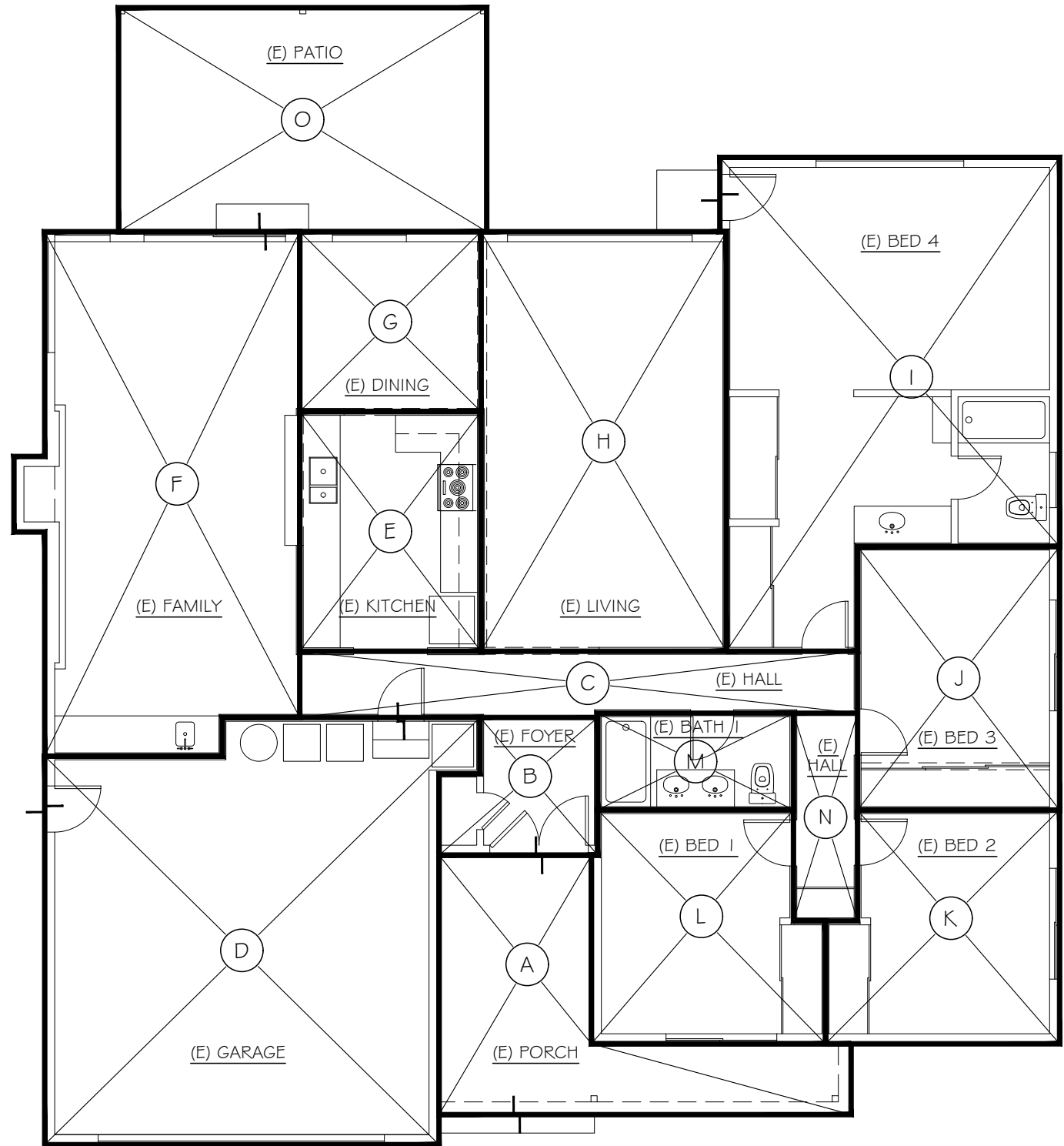
TOTAL 3,297 SQUARE FEET

TOTAL PROPOSED:
(N) FIRST FLOOR + (N) SECOND FLOOR =
3,297 SQUARE FEET + 610 SQUARE FEET = 3,907 SQUARE FEET

A
A3.3

FLOOR AREA KEY

1/8" = 1'-0"



(E) FIRST FLOOR (SEE A3.0)

LABEL	ROOM	AREA
(A)	(E) COVERED PORCH	170 SQUARE FEET
(B)	(E) FOYER	57 SQUARE FEET
(C)	(E) HALL	105 SQUARE FEET
(D)	(E) GARAGE	480 SQUARE FEET
(E)	(E) KITCHEN	127 SQUARE FEET
(F)	(E) FAMILY	390 SQUARE FEET
(G)	(E) DINING	95 SQUARE FEET
(H)	(E) LIVING	301 SQUARE FEET
(I)	(E) BED 4	421 SQUARE FEET
(J)	(E) BED 3	156 SQUARE FEET
(K)	(E) BED 2	150 SQUARE FEET
(L)	(E) BED 1	149 SQUARE FEET
(M)	(E) BATH 1	55 SQUARE FEET
(N)	(E) HALL	39 SQUARE FEET
(O)	(E) PATIO WITH TRELLIS	241 SQUARE FEET

TOTAL 2,936 SQUARE FEET

PLANNING REVISION 1 - MARCH 18, 2021

FLOOR PLAN CALCULATIONS

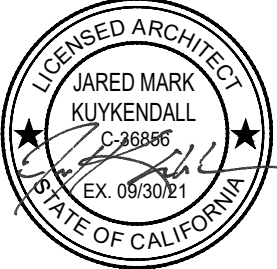
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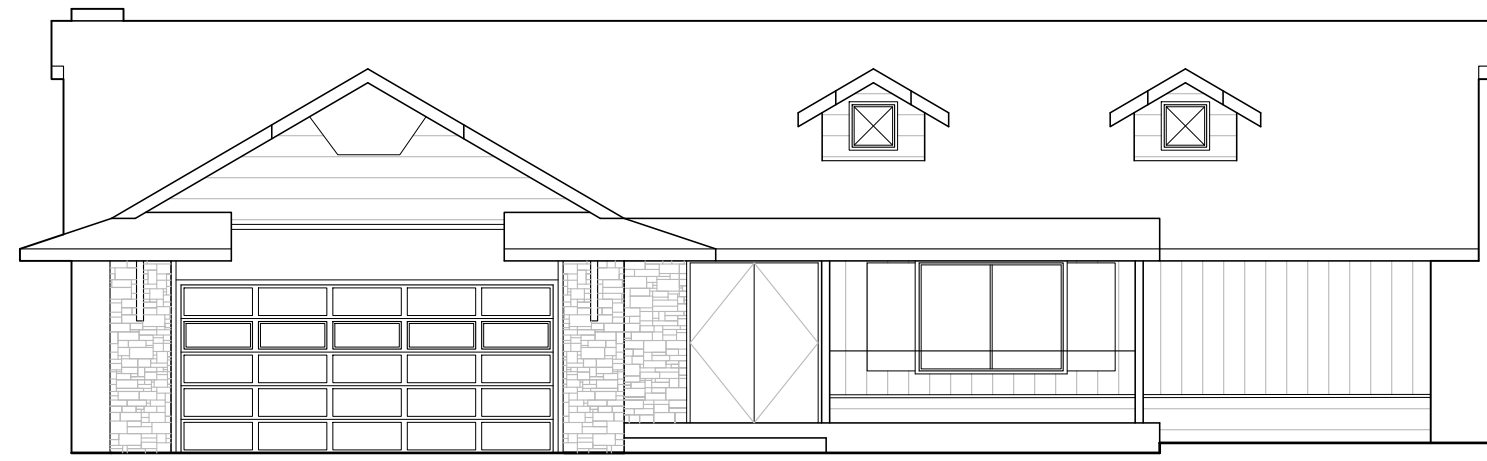
OWNER:
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INTERIOR REMODEL AND ADDITION:
5 CONEJO DRIVE
MILLBRAE, CA

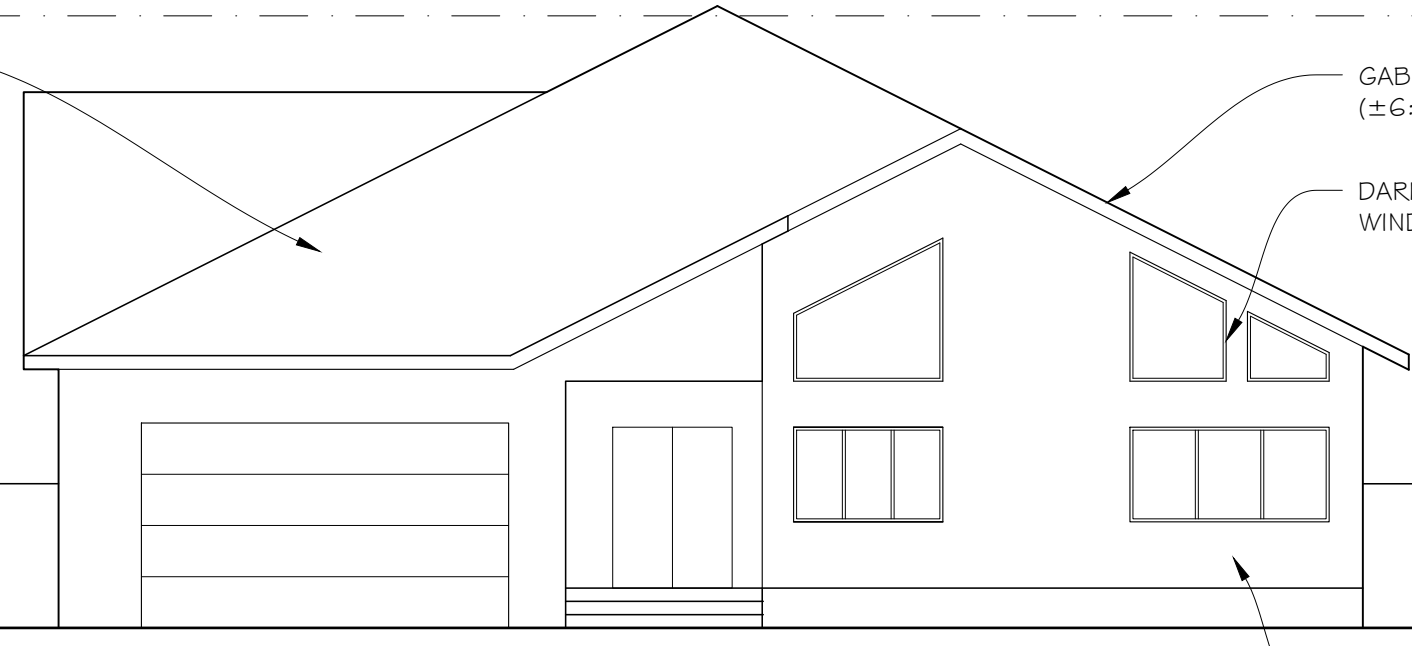
A3.3

±25'-6" HIGH RIDGE
(AVG. ALONG CONEJO DRIVE)



5 CONEJO DRIVE (EXISTING)
SEE A/A4.1

HIP ROOF,
ASPHALT
SHINGLES (±6:12
SLOPE)



15 CONEJO DRIVE
(FOR REFERENCE ONLY)

HIP ROOF, CLAY
TILE SHINGLES
(±3:12 SLOPE)

GABLE DORMER
(±6:12 SLOPE)

DARK BRONZE
WINDOW FRAMES, TYP.



25 CONEJO DRIVE
(FOR REFERENCE ONLY)

STUCCO FACADE,
OFF-WHITE &
LIGHT GRAY PAINT
COLORS, TYP.

BLACK POWDER
COATED WINDOW
FRAMES, TYP.

METAL FRAME & GLASS
GARAGE DOOR

WOOD CLAD GARAGE
DOOR

1/8" = 1'-0"

A
A4.0
CONEJO DRIVE - EXISTING STREET ELEVATION

SECOND FLOOR
MASSING (SIMILAR TO
25 CONEJO DRIVE)

±25'-6" HIGH RIDGE
(AVG. ALONG CONEJO DRIVE)

HIP ROOF, ASPHALT
SHINGLE, TYP. (SIMILAR
TO 15 CONEJO DRIVE,
3:12 SLOPE MATCHES
25 CONEJO DRIVE)

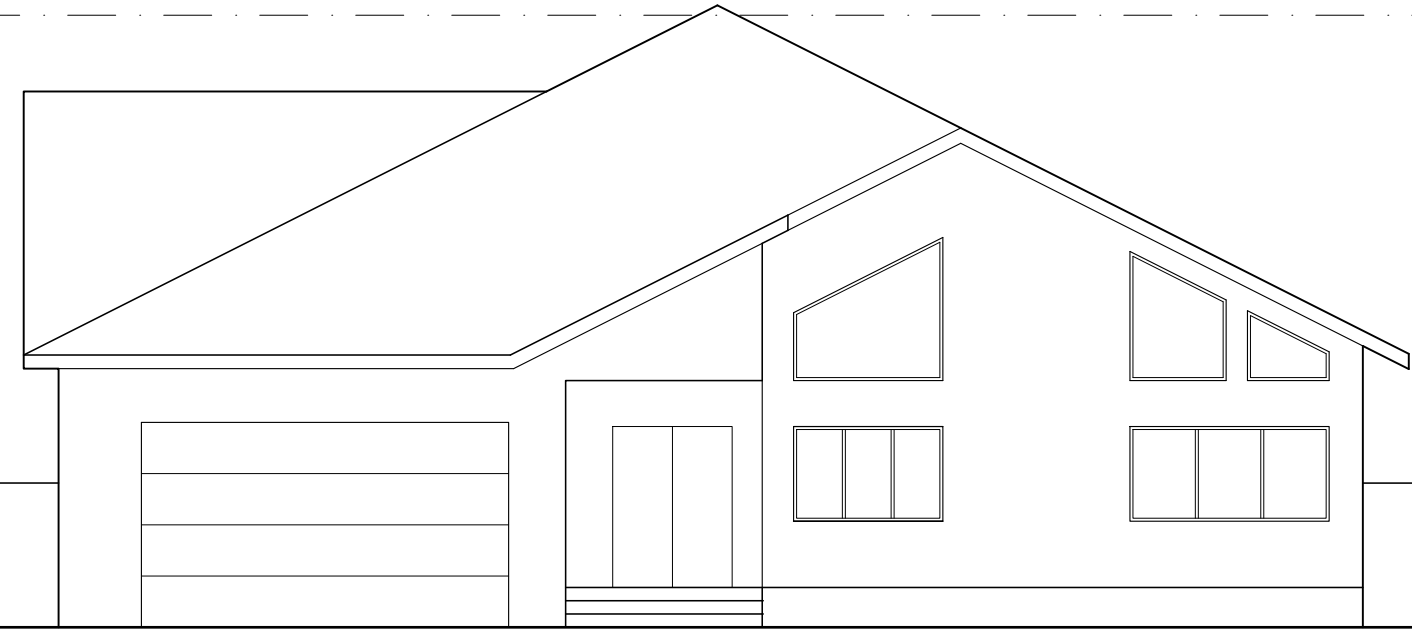


STUCCO FACADE,
INTEGRAL COLOR GRAY
RELATES TO 15 & 25
CONEJO DRIVE

5 CONEJO DRIVE (PROPOSED)
SEE B/A4.1

ASHLAR STONE
ACCENT, (SIMILAR TO
10 CONEJO DRIVE &
OTHERS)

DARK BRONZE/BLACK
POWDER COATED
WINDOW FRAMES, TYP.
(SIMILAR TO 15 & 25
CONEJO DRIVE)



15 CONEJO DRIVE
(FOR REFERENCE ONLY)



25 CONEJO DRIVE
(FOR REFERENCE ONLY)

1/8" = 1'-0"

B
A4.0
CONEJO DRIVE - PROPOSED STREET ELEVATION



A. SIDE/REAR PERSPECTIVE @ MANZANITA



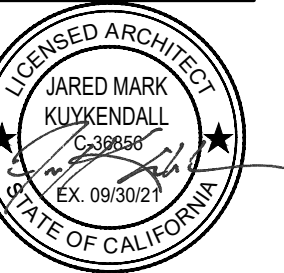
B. FRONT/CORNER PERSPECTIVE @ INTERSECTION OF MANZANITA AND CONEJO



C. PERSPECTIVE @ PROPERTY LINE BETWEEN 5 CONEJO DRIVE AND 15 CONEJO DRIVE

C
A4.0
3D PERSPECTIVE VIGNETTES

OWNER:
CINDY WONG
5 CONEJO DRIVE
MILLBRAE, CA
1618 SULLIVAN AVENUE #486
DANFORTH, CA 94015
JARED KUYKENDALL / 415.871.3976



INTERIOR REMODEL AND ADDITION:
5 CONEJO DRIVE
MILLBRAE, CA

PLANNING REVISION 1 - MARCH 18, 2021
PROJECT CONTEXT AND
3D PERSPECTIVE VIGNETTES

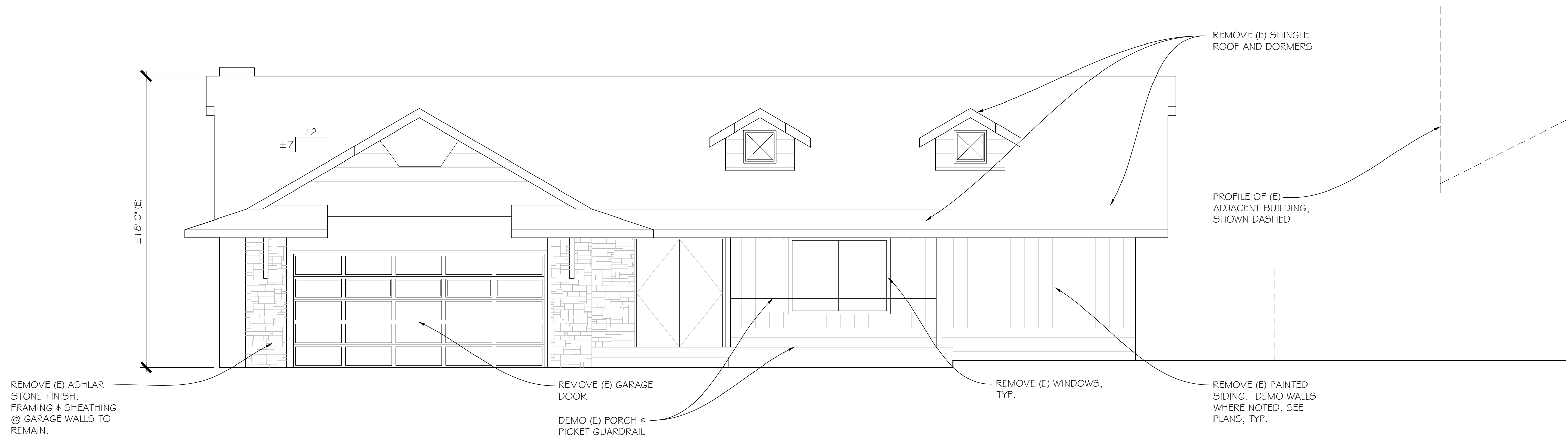
REVISIONS

ISSUE DATE
MARCH 18, 2021

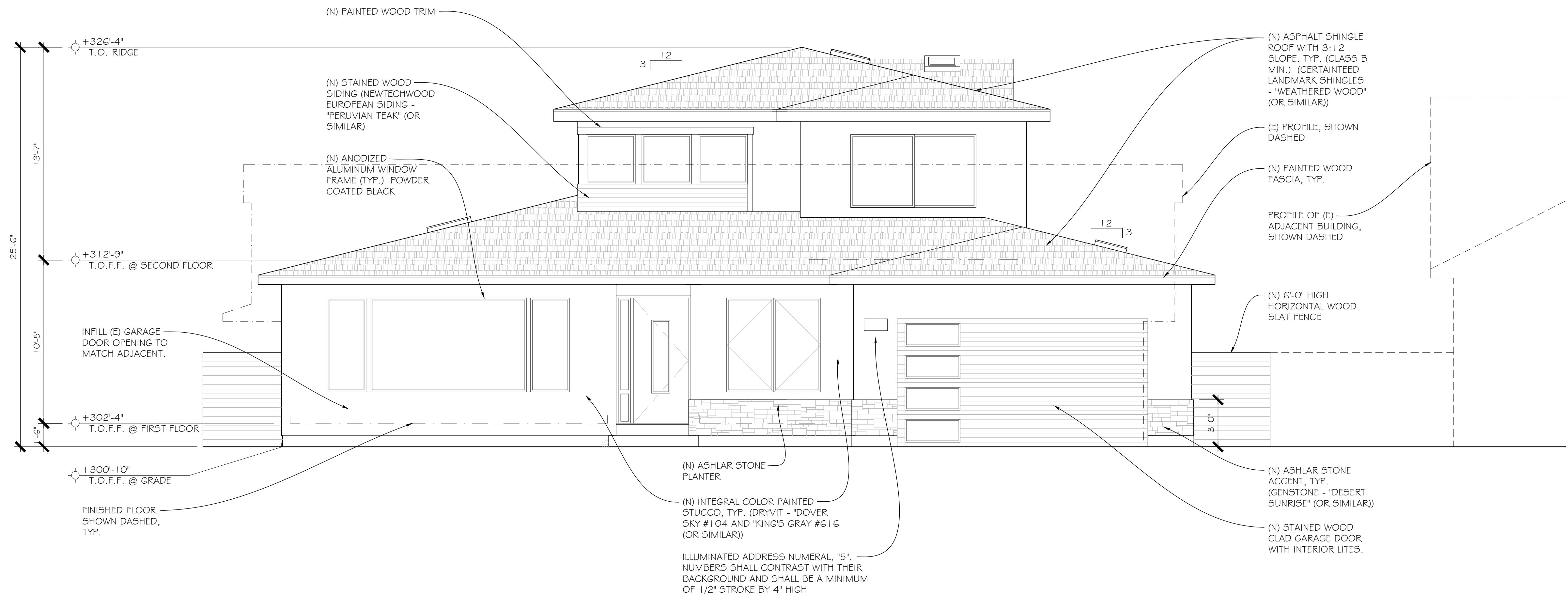
DRAWN BY
JMK

JOB NUMBER
SMU

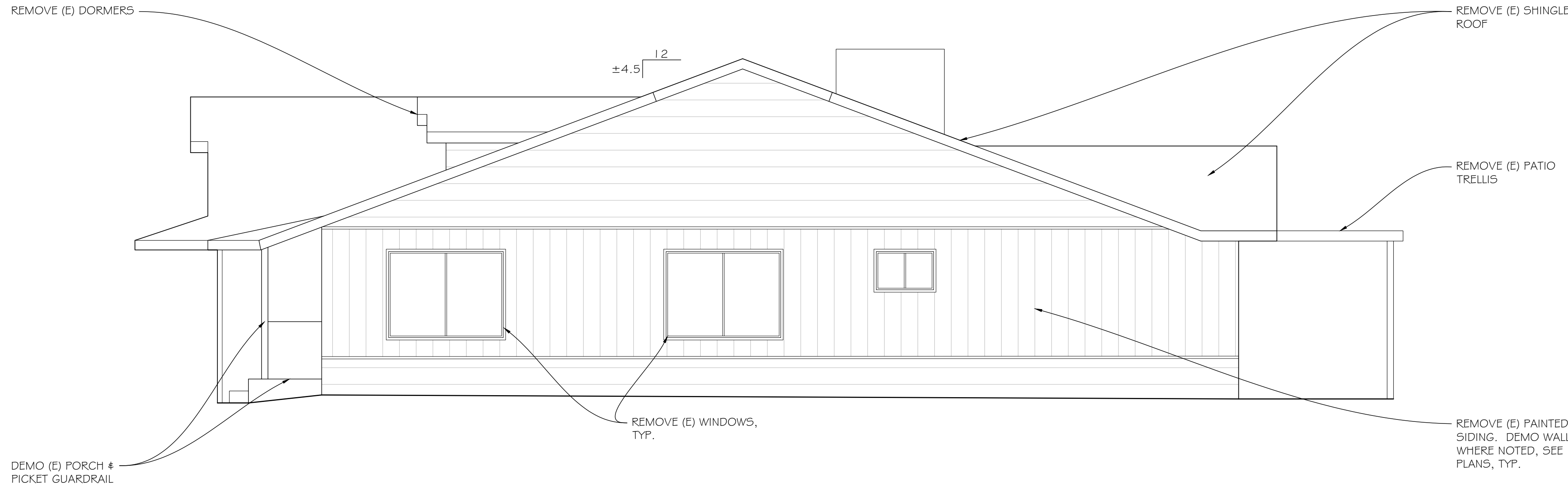
A4.0



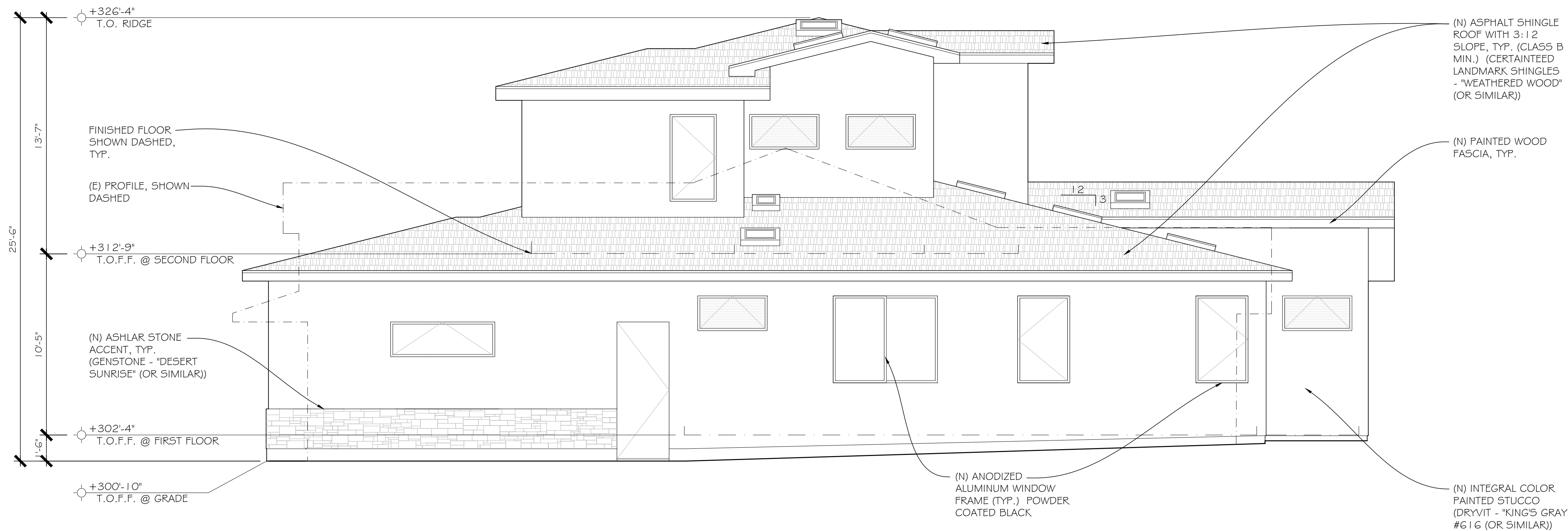
A EXISTING/DEMO FRONT ELEVATION (SOUTH)
A4.1
1/4" = 1'-0"



B PROPOSED FRONT ELEVATION (SOUTH)
A4.1
1/4" = 1'-0"

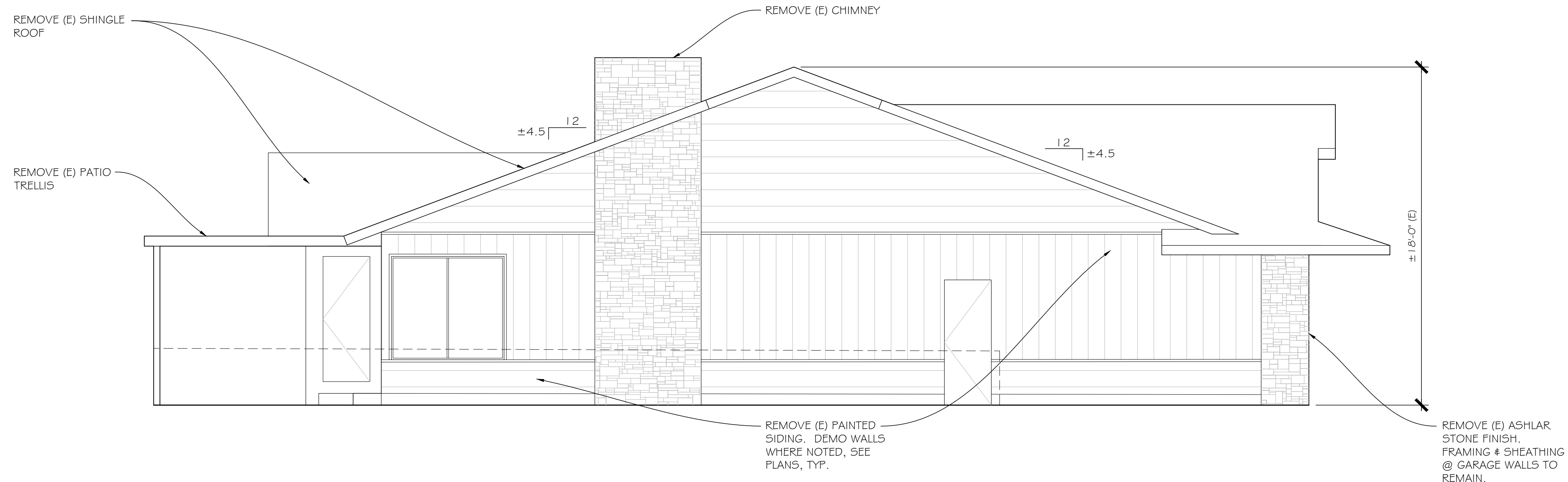


A EXISTING/DEMO RIGHT SIDE ELEVATION (WEST)
1/4" = 1'-0"

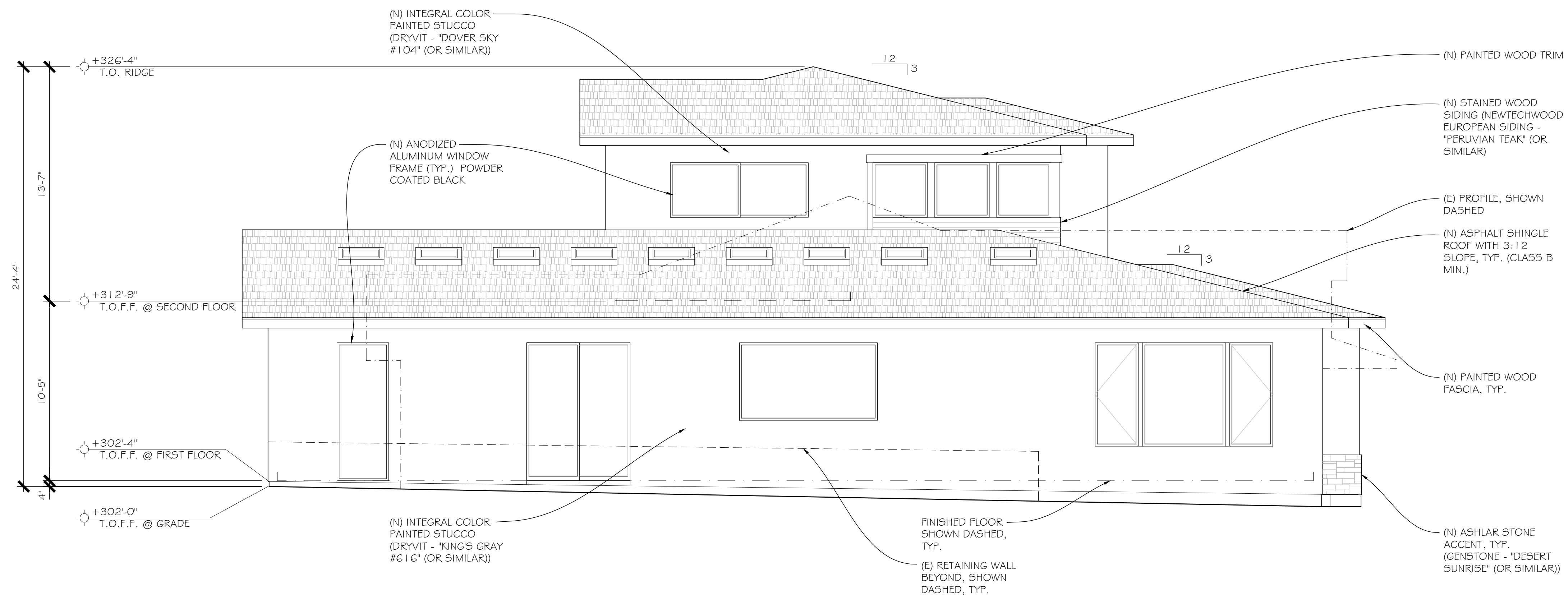


B PROPOSED RIGHT SIDE ELEVATION (WEST)
1/4" = 1'-0"





A
A4.4 EXISTING/DEMO LEFT SIDE ELEVATION (EAST)
1/4" = 1'-0"



B
A4.4 PROPOSED LEFT SIDE ELEVATION (EAST)
1/4" = 1'-0"

OWNER:
CINDY WONG
5 CONEJO DRIVE
MILLBRAE, CA

studio797
residential | commercial | design | drafting
1618 sullivan avenue #486
day city, ca 94015
jared kuykendall / 415.871.3976



INTERIOR REMODEL AND ADDITION:
5 CONEJO DRIVE
MILLBRAE, CA

PLANNING REVISION 1 - MARCH 18, 2021
**EXISTING/DEMO AND PROPOSED
ELEVATIONS**

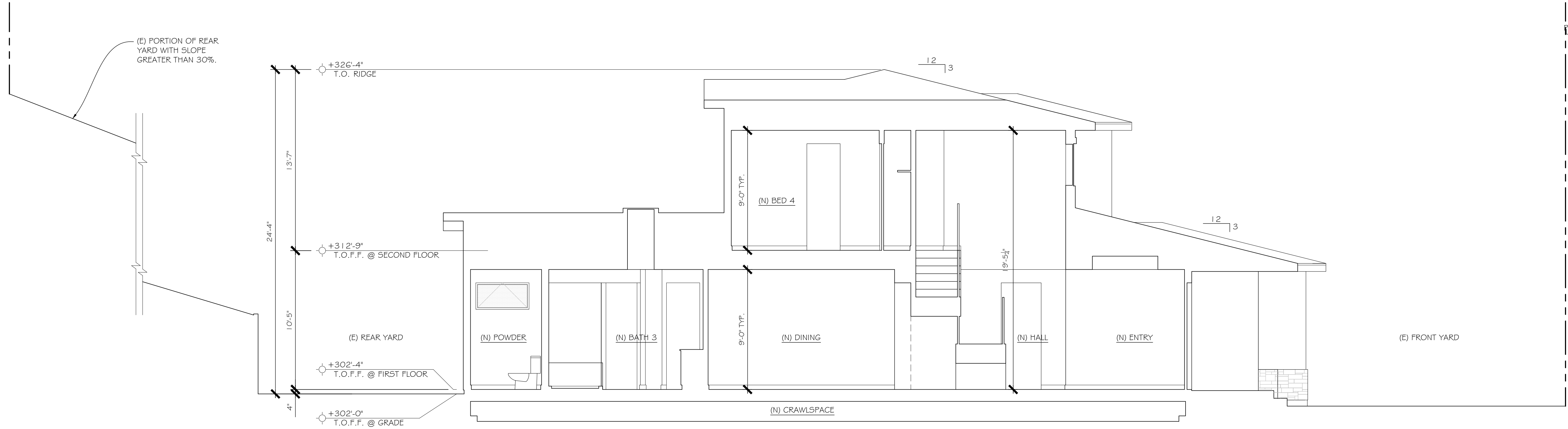
REVISIONS

ISSUE DATE
MARCH 18, 2021

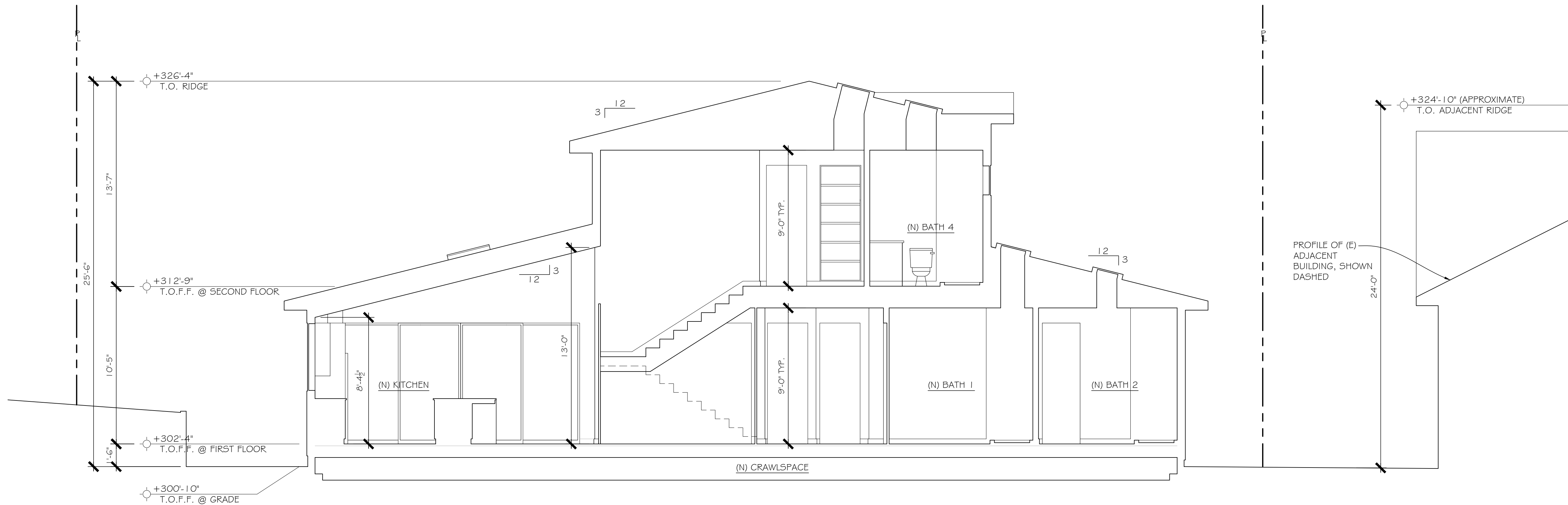
DRAWN BY
JMK

JOB NUMBER
SMU

A4.4



A
A5.0
PROPOSED LONGITUDINAL SECTION
1/4" = 1'-0"



B
A5.0
PROPOSED LATERAL SECTION
1/4" = 1'-0"

PLANNING REVISION 1 - MARCH 18, 2021

REVISIONS

ISSUE DATE
MARCH 18, 2021

DRAWN BY
JMK

JOB NUMBER
SAIL

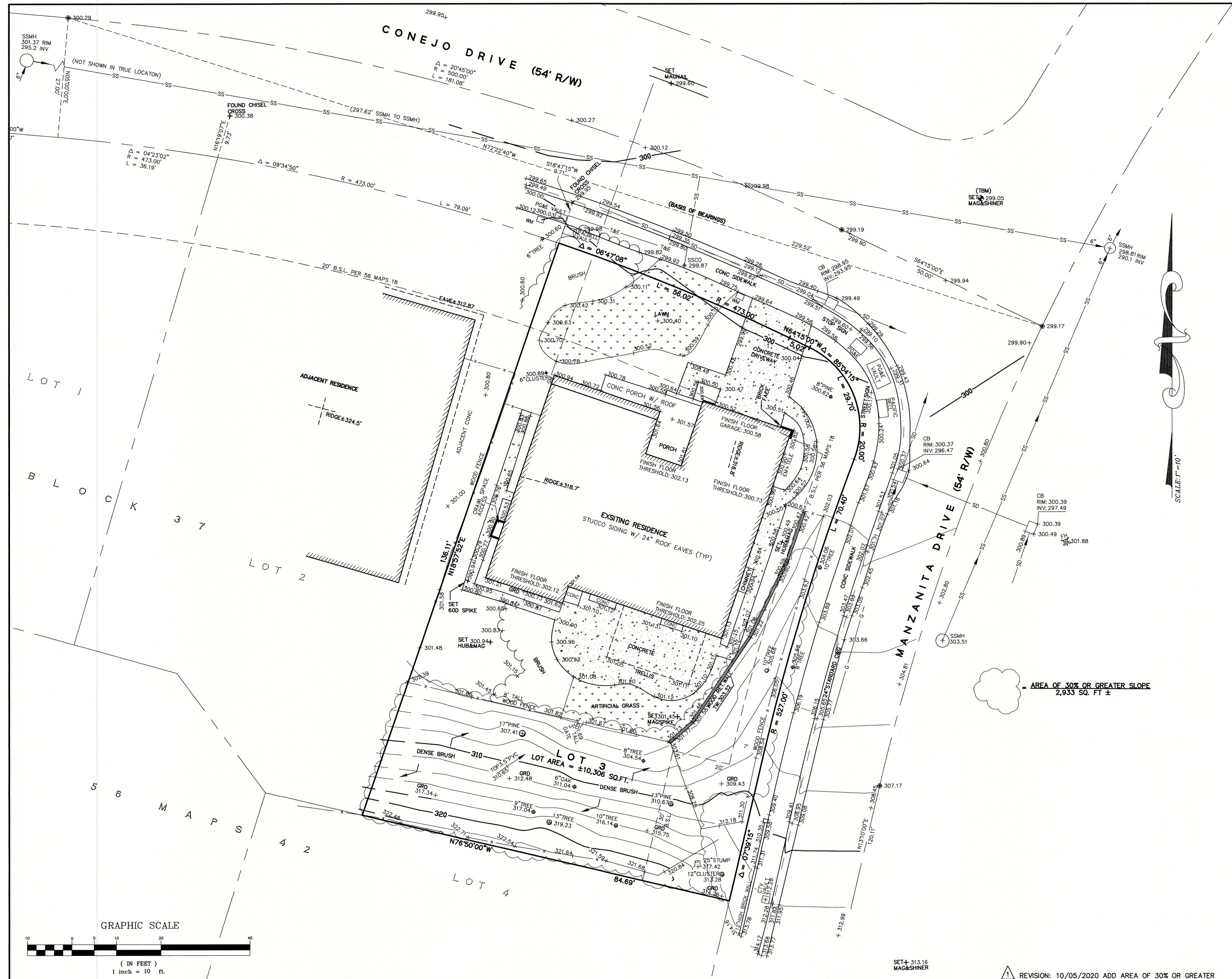
OWNER:
CINDY WONG
5 CONEJO DRIVE
MILLBRAE, CA
1618 SULLIVAN AVENUE #486
DAILY CITY, CA 94015
JARED KUYKENDALL / 415.871.3976



INTERIOR REMODEL AND ADDITION:
5 CONEJO DRIVE
MILLBRAE, CA

PROPOSED BUILDING SECTIONS

A5.0



BASIS OF ELEVATIONS:

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.

⊕ TBM: SET MAGNETIC NAIL AND SHINER
ELEVATION = 299.05

BASIS OF BEARINGS:

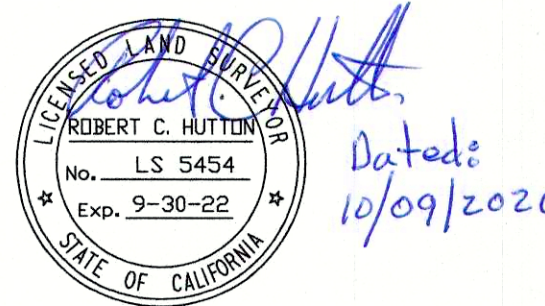
THE CALCULATED BEARING N42°22'40"W BETWEEN TWO FOUND MONUMENTS ALONG CONEJO DRIVE AS SHOWN ON THAT CERTAIN SUBDIVISION MAP ENTITLED, "MILLS ESTATE NO. 22", 56 MAPS 18, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

LEGEND:

- ⊙ FOUND 3/4" IRON PIPE W/ CONC. PLUG AND 3/4" BRASS
- A/C ASPHALTIC CONCRETE
- B.S.L. BUILDING SETBACK LINE (56 MAPS 16)
- BW BACK OF WALK
- CB CATCH BASIN
- CIP CAST IRON PIPE
- CMP CORRUGATED METAL PIPE
- CONC CONCRETE
- CO CLEAN-OUT
- C&G CURB AND GUTTER
- DI DROP INLET
- EM ELECTRIC METER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- GA GUY ANCHOR
- GM GAS METER
- GRD GROUND
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LAT. LATERAL
- LG LIP OF GUTTER
- O/H OVERHEAD
- P.U.E. PUBLIC UTILITIES EASEMENT
- RCP REINFORCED CONCRETE PIPE
- RET. WALL RETAINING WALL
- R/W RIGHT OF WAY
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MANHOLE
- SD STORM DRAIN MANHOLE
- TBC TOP BACK OF CURB
- T/W TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.



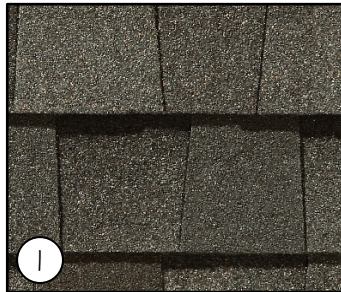
BOUNDARY AND TOPOGRAPHIC SURVEY

LANDS OF WONG
DOCUMENT #2020-044328 O.R.
LOT 3, BLOCK 37
"MILLS ESTATE NO. 22"
VOLUME 56 OF MAPS AT PAGES 16-18
ASSESSOR'S PARCEL NUMBER: 024-451-030
(5 CONEJO DRIVE)

MILLBRAE SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 10' JUNE, 2020

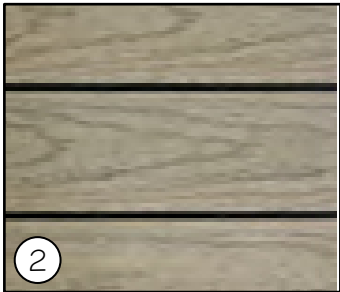
B & H SURVEYING, INC.
PROFESSIONAL LAND SURVEYING
901 WALTERMIRE ST.
BELMONT, CA 94002
OFFICE (650) 637-1590

REVISION: 10/05/2020 ADD AREA OF 30% OR GREATER



ASPHALT SHINGLE
ROOFING

CERTAINTEED LANDMARK SHINGLES -
"WEATHERED WOOD" (OR APPROVED
EQUAL)



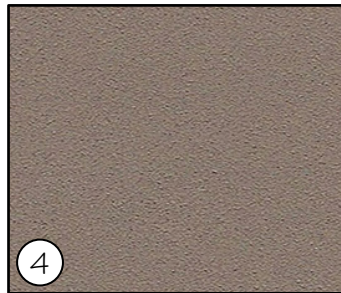
ACCENT CLADDING & TRIM

NEUTECHWOOD EUROPEAN SIDING
SYSTEM - HORIZONTAL COMPOSITE
CLADDING "PERUVIAN TEAK" (OR
APPROVED EQUAL)



CEMENT PLASTER WITH
INTEGRAL COLOR (1)

DRYVIT THREE-PART CEMENT PLASTER
WITH INTEGRAL COLOR - "DOVER
SKY #104" (OR APPROVED EQUAL)



CEMENT PLASTER WITH
INTEGRAL COLOR (2)

DRYVIT THREE-PART CEMENT PLASTER
WITH INTEGRAL COLOR - "KING'S
GRAY #616" (OR APPROVED
EQUAL)



ASHLAR STONE BASE

GENSTONE - "DESERT SUNRISE" (OR
APPROVED EQUAL)

COLOR MATERIAL BOARD

5 CONEJO
DRIVE
MILLBRAE, CA


residential | commercial | design
1618 sullivan avenue #486
daly city, ca 94015
jared kuykendall / 415.871.9976