

**PLANNING COMMISSION  
AGENDA REPORT**



**CITY OF MILLBRAE  
621 Magnolia Avenue  
Millbrae, CA 94030**

**SUBJECT:** A public hearing on a DESIGN REVIEW PERMIT (#2020-64) located at 360 Loyola Drive (APN: #025-041-210) to allow the construction of a two-story residence on a lot with a previously demolished single-story residence, due to fire damage, located in the Single-Family Residential (R-1) Zoning District (Public Hearing).

**ATTACHMENTS:**

1. Resolution and Conditions of Approval
2. Project Description
3. Neighbor Consultation Forms
4. Site Photos
5. Project Plans
6. Material and Color Board

**Report No. 4a**

**For Agenda of:** May 2, 2022

**Address:** 360 Loyola Drive

**Department:** Community Development

**Originator:** Sam Fielding  
Senior Planner

**Approved:** Roscoe Mata,  
Planning Manager

**Property Owner:** Kai Chao Sun

**Applicant:** Hector Estipona

**Application submittal date:**  
3/9/21

**Application deemed complete date:** 3/28/22

**Prior Planning Commission meeting date(s):** none

**REPORT TYPE:**  ACTION  INFORMATIONAL

**ITEM TYPE:**  CONSENT  PUBLIC HEARING  EXISTING BUSINESS  NEW BUSINESS

**EXECUTIVE SUMMARY**

The project involves the construction of two-story building on a lot with a previously demolished single-story residence, due to fire damage, to a new two-story residence. The property owner purchased the residence after it had sustained fire damage in a fire that occurred on October 8, 2018. The fire started in the two-car garage and spread to damage the adjacent laundry room, breakfast room next to the kitchen, the family room and dining room. The fire damaged approximately one-third of the single-story house. The new owner originally was going to repair the home in-kind, but subsequently decided to demolish the structure and rebuild the residence due to the significant damage from the fire, which made renovation in-kind infeasible.

The proposed project involves the construction of a new 9,464 sf two-story with lower floor (previously approved under separate building permit). The proposal is subject to Planning Commission design review because it is a new construction of a single-family residence.

The existing property contained a single-story home on a 20,960-sf interior lot. The lot is an

interior lot located on east side of Loyola Drive between Toyon Drive and Frontera Way. The lot is located in the Single-Family Residential (R-1) in the Low Density Residential General Plan land use designation. The site contains 2,960 sf of slope 30% or greater which is subtracted from the lot area for floor area ratio (FAR) calculation purposes. Therefore, the net site area available for development is 17,964 sf.

The previous 5,643 square feet residence contained three bedrooms, two and a half bathrooms, a living room, dining room, breakfast room, family room, laundry room, front porch, rear patio deck and a two-car garage. The owner had secured building permits for construction of a rear basement floor, which was under construction prior to the fire that occurred in October 2018 (Attachment 5, Lower/Basement Level Plan, Plan Sheet A3.2.1).

The applicant demolished the entire residence due to fire damage and proposed to construct a new 9,646 sf single-story residence with a rear, lower basement floor (under previously approved building permit). The upper, main floor would contain four bedrooms with closets, four and a half bathrooms, a kitchen open to a dining and living room, entry porch and hallway, three-car garage, and rear deck with access from the dining room, living room and rear main bedroom. The lower basement floor, (separate approved building permit issued), contains four bedrooms with closets, four full bathrooms, an exercise room, family room, rear deck accessed from the family room, small storage space and staircase to the upper floor. There will be no kitchen on the lower floor. The large backyard will include extensive landscaping, a garden with bushes and shrubbery, retaining walls and permeable paver patio and pathways. The roof pitch would be 3.5:12 and include a new front chimney and six skylights.

The square feet of the residence will increase from 5,643 sf to 9,464 sf. The FAR would increase from 31% to 53% (55% is the allowable maximum). The lot coverage would remain unchanged at 26% (50% is the allowable maximum).

## **RECOMMENDATION**

Staff recommends that the Planning Commission review the project, consider the public testimony and the Findings, as presented, and consider adopting the attached Resolution approving the DESIGN REVIEW PERMIT application to demolish a single-family residence and build a single-story residence, located at 360 Loyola Drive, subject to the attached Conditions of Approval.

## **BACKGROUND**

The Millbrae Fire Department informed planning staff that a fire had occurred at the subject property on October 8, 2018. The property owner initially submitted building permit plans in November 2019 to repair in-kind the fire damage to the home (included damage to the two-car garage, laundry room, family, dining rooms and kitchen), build a new basement floor addition to the rear of house, and a first-floor remodel (#2019-1418), (Attachment 5, Lower/Basement Level Plan, Plan Sheet A3.2.1). Subsequently, in May 2020, the applicant submitted a building permit application for landscaping in the backyard (#2020-1350). In July of 2020, the applicant submitted a demolition and shoring plan as per a “Stop Work” ordered by the Building Department because of safety issues observed during the site inspections of the fire damaged property. During work for the demolition and shoring plan, the property owner decided that it was preferable to demolish the entire house due to concerns with fire dust and safety hazards at the site. Planning staff conducted a site visit in February 2021 and

discovered that a majority of the house had been demolished and informed the applicant that the project would require submittal of a Design Review Permit application for review and approval by the Planning Commission. The Design Review Permit application is before the Planning Commission for action this evening.

## **NEIGHBORHOOD AND SURROUNDING USES**

The project site is located in the Mills Estates subdivision, located on the east side of Loyola Drive between Toyon Drive and Frontera Way. The property is a large 20,924 sf lot, zoned Single-Family Residential (R-1) identified in the General Plan as Low Density Residential. The lot was occupied by a single-story, single-family residence, prior to the fire damage and demolition of the home.

<b>Project Address: 360 Loyola Drive</b>					
	<b>Site</b>	<b>North</b>	<b>South</b>	<b>East</b>	<b>West</b>
<b>General Plan</b>	Low Density Residential				
<b>Zoning</b>	R-1	R-1	R-1	R-1	R-1

## **PROPOSAL**

The proposed project is for a new 9,646 sf two-story residence with a rear, lower floor. The upper main floor would contain four bedrooms with closets, four and a half bathrooms, a kitchen open to a dining and living room, entry porch and hallway, three-car garage, and rear deck with access from the dining room, living room and rear main bedroom with fireplace. The lower basement floor (approved under separate building permit) contains four bedrooms with closets, four full bathrooms, an exercise room, family room, rear deck accessed from the family room, small storage space and staircase to the upper floor; there will be no kitchen on the lower floor. The roof pitch would be 3.5:12 and include a new chimney and six skylights (Attachment 5, First Floor Plan Sheet A3.1). Because the project is subject to Design Review, the Planning Commission is evaluating the project as a whole, including the previous building permits obtained by the applicant for the basement floor, retaining walls and grading.

### *Landscaping*

The large interior lot includes extensive landscaping with nine retaining walls for a variety of plants and ground cover and four new trees in the front yard. The applicant will plant four new trees in the front yard: Carolina Laurel (2), Japanese Maple (1) and Swamp Myrtle (1). Shrubs and perennials include Palace Purple coral bells (11), Pittosporum (7), English Lavender (5), English Boxwood (9) and succulent plant variety (21). Ground cover will include Dwarf Mat Rush (22) Orange Sedge (16), Elk Blue California Gray Rush (3), Catalina Fuchsia (9) and Carpet Manzanita (25). The front yard lawn includes 921 sf of Bolero Plus Blend or equal drought resistant grass (Attachment 5, Landscape Plan Sheet L1).

The project complies with all Single-Family (R-1) Residential development standards. Building height would increase from 17'- 6" to 29'. All ground floor and upper story setbacks are met. The proposed three-car garage would be built to the required garage dimensions and satisfies the

required covered parking per Zoning Code.

The previously existing home measures 5,643 square feet (sf) in area, including the attached two-car garage. The proposed home would increase the total square footage to 9,464 sf. The FAR would increase from 31% to 53% (55% is the allowable maximum). The lot coverage would remain unchanged at 26% (50% is the allowable maximum).

## **ISSUES & ANALYSIS**

The proposed new construction complies with minimum and maximum development standards as follows (previously existing non-conforming in *italics*; proposed non-compliant in bold *italics*):

Interior Lot (R-1)	Requirement	Previously Existing	Proposed
<b>Building Setbacks</b>			
Ground Floor Front Setback WEST	20 Ft.	<i>15' -6"</i>	41' - 6"
Ground Floor Side Setback SOUTH	5 Ft.	5'	8' to 10' - 6" Ft.
Ground Floor Side Setback NORTH	5 Ft.	5'	5'-3" to 13'
Ground Floor Rear Setback EAST	10 Ft.	88'	141'-2"
Upper Floor Rear Side Setback SOUTH	10 Ft.	N/A	4**
Upper Floor Rear Side Setback NORTH	10 Ft.	N/A	13' - 6"
Upper Floor Rear EAST	10 Ft.	N/A	126' - 6"
	Gross Area	Existing	Proposed
Site Area	5,000 SF	20,924 SF	17,964 SF*
Maximum Lot Coverage	50% (2,500 SF)	26% (5,541 SF)	26% (5,541 SF)
Maximum Floor Area Ratio	55% (2,759 SF)	31.4% (5,643 SF)	53% (9,464 SF)
Maximum Building Height	30 Ft.	17 Ft. 6 In.	29 Ft.
Minimum Rear Yard Open Space	1,000 SF	6,580SF	No Change
Max. Allowed Front yard Pavement	40%	21%	39%
Enclosed Parking	2 Garage Spaces	3 Garage Spaces	No Change

\*Net site area available for development 17,964 SF (20,960 SF – 2,960 SF of slope => than 30%)

\*\*Reduction factor: reduced by two feet for each one foot that exceeds the ground floor setback, maximum reduction of six feet) Ground floor setback 8 feet (10-6 = 4 feet setback required).

## **Design Review**

Section 10.05.2500 (Architectural, Landscaping and Site Plan Consideration) of the Millbrae Municipal Code requires Design Review, pursuant to the City's adopted Residential Design Guidelines, for new buildings. The Design Guidelines include generalized review criteria that seek to integrate additions into the existing character of the structure and neighborhood, while

respecting the privacy, views, and solar access of neighboring properties. This project requires review and approval of a Design Review Permit application by the Planning Commission because it is a demolition and new construction of a two-story residence. The applicant previously received permits for a new basement, retaining walls and grading. Because the project is subject to Design Review the Planning Commission is evaluating everything as one project, including the previously received building permits for the basement floor, retaining walls and grading that were received by the applicant.

The demolished residence was a single-story ranch style home with dark olive painted color wood paneling exterior, white shutters and trim, white color front door, white fascia, and stone veneer. The roof consisted of brown color shingle roof with a two-car garage with entry from the interior side. The front yard consisted of a paver driveway for north side entry garage, grass lawn with plantings along the front façade of the house and a row of hedges on the north property line. The roof was a hip and valley type with roof pitch of 4.5:12.

The proposed two-story residence includes exterior finishes of beige color (“Veranda Hills”) exterior stucco walls, light brown (“Eagle’s Meadow) window trim and fascia, metal gutters (“Carbon”), stone veneer (“Pacifica Ashlar”) and wood garage doors painted beige (“Veranda Hills”) with (“Eagle’s Meadow”) brown trim. In addition, the entry columns will be painted brown (“Eagle’s Meadow) and will have light fixtures installed on each column as well as on both sides of the second garage door. Roof will be composition shingle (“Black Pearl”) color. The roof type will be combination open gable with hip type roof with a roof pitch ratio of 3.5:12 (Attachment 5, Plan Sheet A4.1, Elevations).

#### Neighborhood Character

The majority of homes in the area are one-story homes and are generally ranch style with cross hipped and cross gabled roof designs with a mixture of stucco and wood paneling exterior material and brick or stone veneer base. The residence is located on east side of Loyola Drive between Toyon Drive and Frontera Way. There are views of the San Francisco Bay from the existing property but no impacts to neighbor views were identified by staff.

#### Parking

The project site previously contained a 503 square foot two-car, enclosed, and attached garage. The proposed plan would include three-car attached 669 square foot garage to accommodate a larger house. Pursuant to section 10.05.2100 of the Zoning Ordinance, two garage spaces are required per single-family-dwelling, therefore, the project is compliant with the parking requirement for single-family residential property.

#### Public Notice Requirement

The City of Millbrae Community Development Department follows legally required public noticing requirements outlined in the Municipal Code Section 10.05.2900 including publishing the Planning Commission meeting date not less than ten days prior to the hearing, in a newspaper of general circulation in the city and mailing notice cards to property owners within a 300-foot radius of the subject property. In addition, ten days prior to the hearing, staff posts notices in at least three public places along the street and stakes a notice placard on the subject property. At least

three days before the meeting, staff posts the project meeting date on the city website Planning Commission calendar; and on the bulletin boards at City Hall and the Millbrae Public Library.

### Neighborhood Response

In accordance with the City of Millbrae Community Development Departments' Submittal Requirements for Residential Development to notify each adjacent property owner abutting the project site, a total of five Proof of Neighbor Consultation forms from the adjacent residences have been submitted as follows:

Response	#	Address	Date Applicant Sent	Date Received by Staff
Support		350 Loyola Drive	2/20/21	3/9/21
		329 Castenada Drive	2/21/21	3/9/21
		370 Loyola Drive	2/22/21	3/9/21
		1200 Frontera Way	2/20/21	3/28/22
Oppose			7/10/20	3/9/21
Unreturned		339 Castenada (USPS certified mail receipt received)	2/23/21	3/9/21

Four adjacent property owners submitted forms in support of the proposed project. One adjacent property owner, located at 330 Castenada, located at the rear of the subject property, was sent the consultation form but did not respond to either the applicant or city planning staff.

### **REQUIRED FINDINGS**

#### Design Review Permit

Pursuant to Section 10.05.2500(C)(2) of the Millbrae Municipal Code the design review application materials shall be evaluated by the Planning Commission. The following findings are required, under this section of the code, for the Planning Commission to approve the requested Design Review Permit:

**a. The architectural, landscaping, and general appearance of the proposed building or structure and grounds are in keeping with the character of the neighborhood;**

The neighborhood along Loyola Drive contains primarily one-story ranch style homes, with a mix of gabled or hip style roofs but primarily hip style roofs. Most of the homes in the neighborhood feature at least one medium size tree in the front yard landscaping, bordered by hedges, and plants on the sides of the front yard and at the front the residences. The proposed single-story house would be similar to the ranch style that is common in the neighborhood, while also complying with the front yard landscaping requirement of at least sixty percent landscaping. Landscaping includes ground cover plants, shrubs, a small area of decomposed granite fines and three types of trees including Grecian laurel, Carolina laurel, Japanese Maple, and Swamp Myrtle. The remaining forty percent of the front yard will contain permeable concrete pavers for the entry walkway and driveway to the garages.

The proposed residence is a two-story ranch style home similar to other buildings in the neighborhood. The front exterior wall will be beige colored stucco, with brown fascia and black gutters, a wood entry door, beige color painted wood garage doors and stone veneer base. Four exterior light fixtures will be installed, two at both sides of the front door entry wood panel columns and two on either side of

the left side garage door. The roof is a hip-gable roof type, built of composite shingle material with roof pitch of 3.5:12.

**b. The project complies with all applicable development regulations;**

The subject property is an interior lot and meets all setbacks, floor area and height requirements. The proposed project is a 9,464 square foot two-story residence with a lower-level floor. FAR will increase from 27% to 53% (55% is the allowable maximum) and the lot coverage would decrease remain the same at 26% (50% is the allowable maximum). Pursuant to section 10.05.2100 of the Zoning Ordinance, two garage spaces are required per single family residence. The project includes a three-car garage to accommodate the larger residence.

**c. The project will not cause a significant visual impact to neighboring views from principal rooms of a residence (unless it is proven by the applicant that there is no other viable or cost-effective alternative);**

Based on staff site visit, plan review and neighbor responses, staff found that the project meets the intent of the design review guidelines and would not cause any negative visual impact to neighbors. The building height would increase from 16'-7" to 20'-8" at the front of the house facing Loyola Drive. There are no views of the San Francisco Bay from adjacent property owners that would be negatively impacted by the project. The project will not cause a significant visual impact to neighboring views from the principal rooms of a residence.

**d. The proposal is not detrimental to the orderly, harmonious, and safe development of the city and will not impair the desirability of investment or occupation in the neighborhood in which the building or structure is proposed to be erected.**

The proposed project complies with all standards as identified in the Zoning Code and will be required to comply with all applicable building and fire safety codes. The lower floor will not contain a kitchen and is not intended to be used as a separate living unit. Therefore, based upon the above findings, the addition will not decrease the desirability of the neighborhood or disrupt the orderly development of the City.

## **ENVIRONMENTAL REVIEW**

This project has been determined to be Categorically Exempt pursuant to Section 15303 Class 3 (a) of the California Environmental Quality Act that allows for the construction of a new single-family residence in a residential zone. The subject property and/or structure is not listed on the California or National Register for historic resources or is associated with any person of historical importance.

## **PLANNING COMMISSION ACTION:**

Staff recommends that the Planning Commission review the project, consider the public testimony and the Findings, as presented, and consider adopting the attached resolution to allow the construction of a two-story residence on a lot with a previously demolished single-story residence, due to fire damage, located in the Single-Family Residential (R-1) Zoning District, subject to the attached Conditions of Approval.

**ATTACHMENT 1**

**RESOLUTION NO.**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILLBRAE  
APPROVING THE DESIGN REVIEW PERMIT FOR THE CONSTRUCTION OF A  
TWO-STORY RESIDENCE IN A RESIDENTIAL (R-1) ZONING DISTRICT AT 360  
LOYOLA DRIVE (PUBLIC HEARING)**

**CITY OF MILLBRAE**

---

WHEREAS, the applicant has filed PA-2020-64 to request the approval of a two-story residence in the Single-Family Residence (R-1) Zoning District at 360 Loyola Drive, subject to the attached Conditions of Approval; and

WHEREAS, the proposal consists of the construction of a new two-story residence with lower level (previously approved building permit), which results in a 9,464 square foot residence; and

WHEREAS, the Planning Commission found that this project is consistent with the City's General Plan, Development Code, and has determined that the project is categorically exempt per Section 15303 Class 3 (a) of the California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, this Planning Commission, having considered the evidence received at the public hearing duly noticed, desires to recommend approval of the project in the manner proposed and referenced above and in accordance with the following findings;

**Design Review Permit:**

**a. The architectural, landscaping, and general appearance of the proposed building or structure and grounds are in keeping with the character of the neighborhood;**

*The neighborhood along Loyola Drive contains primarily one-story ranch style homes, with a mix of gabled or hip style roofs but primarily hip style roofs. Most of the homes in the neighborhood feature at least one medium size tree in the front yard landscaping, bordered by hedges, and plants on the sides of the front yard and at the front the residences. The proposed two-story house would be similar to the ranch style that is common in the neighborhood, while also complying with the front yard landscaping requirement of sixty percent landscaping. Landscaping includes ground cover plants, shrubs, a small area of decomposed granite fines and three types of trees including Grecian laurel, Carolina laurel, Japanese maple and Swamp myrtle. The remaining forty percent of the front yard will contain permeable concrete pavers for the entry walkway and driveway to the garages.*

*The proposed residence is a two-story ranch style home similar to other buildings in the neighborhood. The front exterior wall will be beige colored stucco, with brown fascia and*

*black gutters, a wood entry door, beige color painted wood garage doors and stone veneer base. Four exterior light fixtures will be installed, two at both sides of the front door entry wood panel columns and two on either side of the left side garage door. The roof is a hip-gable roof type, built of composite shingle material with roof pitch of 3.5:12.*

**b. The project complies with all applicable development regulations;**

*The subject property is an interior lot and meets all setbacks, floor area and height requirements. The proposed project would demolish an existing 5,643 square foot, single-story residence and construct a 9,464 square foot single-story residence with a basement level floor. FAR will increase from 27% to 53% (55% is the allowable maximum) and the lot coverage would decrease remain the same at 26% (50% is the allowable maximum). Pursuant to section 10.05.2100 of the Zoning Ordinance, two garage spaces are required per single family residence. The project includes a three-car garage to accommodate the larger residence.*

**c. The project will not cause a significant visual impact to neighboring views from principal rooms of a residence (unless it is proven by the applicant that there is no other viable or cost-effective alternative);**

*Based on staff site visit, plan review and neighbor responses, staff found that the project meets the intent of the design review guidelines and would not cause any negative visual impact to neighbors. The building height would increase from 16'-7" to 20'-8" at the front of the house facing Loyola Drive. There are no views of the San Francisco Bay from adjacent property owners that would be negatively impacted by the project. The project will not cause a significant visual impact to neighboring views from the principal rooms of a residence.*

**d. The proposal is not detrimental to the orderly, harmonious and safe development of the city and will not impair the desirability of investment or occupation in the neighborhood in which the building or structure is proposed to be erected.**

*The proposed project complies with all standards as identified in the Zoning Code and will be required to comply with all applicable building and fire safety codes. The lower floor will not contain a kitchen and is not intended to be used as a separate living unit. Therefore, based upon the above findings, the addition will not decrease the desirability of the neighborhood or disrupt the orderly development of the City.*

NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED BY THE PLANNING COMMISSION THAT:

1. The recitals set forth above are true and correct and are hereby incorporated herein by this reference and full set forth in their entirety.
2. The adoption of the Design Review Permit will not be detrimental to the public health, safety, and general welfare.
3. This resolution shall be effective immediately.

PASSED AND ADOPTED as a Resolution of the City of Millbrae Planning Commission at the public meeting held on the 2nd day of May, 2022 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

---

JEAN JOH  
CHAIR

ATTEST:

---

ROSCOE MATA  
SECRETARY

## **CONDITIONS OF APPROVAL**

Project: 360 Loyola Drive

Date: May 2, 2022

### **GENERAL REQUIREMENTS:**

1. This approval and all rights hereunder shall be effective for a period of one (1) year from the date of approval. The Planning Commission may extend this approval period, not to exceed three years, if a written request is made and submitted by the property owner prior to the expiration of the approval period (Section 10.05.2550) and a notice of a public hearing has been made pursuant to Section 10.05.2900 (D) of the Millbrae Municipal Code.
2. The final building permit plans shall include these Conditions of Approval printed on the plan set sheets.
3. Violation of any of the conditions of this permit shall be cause for the issuance of an infraction or citation, prosecution, and/or revocation and termination of all rights under the permit, by the City of Millbrae.
4. In the event of transfer of ownership of the property involved in this application, the new owner shall be fully informed of the use and development of said property as set forth by this permit together with all conditions, which are a part thereof. These specific requirements must be recorded with all title conveyance documents at time of closing escrow.
5. Front yard Landscaping Requirement - Front yards are required to have not less than 40% landscaping. "Front yard" is a yard extending across the full width of the front of the lot between its front lot line and any portion of the front facade of the main building measured from the front property line. The property owner is responsible for complying with this requirement. No paving is permitted in the front vegetation strip between the sidewalk and the roadway/street. Property owner is responsible for maintaining the landscape vegetation strip between sidewalk and roadway/street.
6. All structures shall conform to California Building Code requirements and all required permits from the City of Millbrae Building Division must be secured prior to initiating development under the terms of this permit.
7. Any off-site improvements found to be damaged shall be repaired and/or replaced as required by the City of Millbrae Director of Public Works.
8. All required utility easements shall be provided as indicated by the department or agency having jurisdiction.
9. The project shall comply with all applicable "City of Millbrae Public Works General Conditions of Approval" (copy provided to applicant). This condition includes project compliance with the Public Works Construction and Demolition Reuse and Recycling

Requirements, including submittal of planning forms to the City's Recycling Coordinator prior to issuance of a Building Permit.

10. Developers Fees for School Facilities - All building permits for new buildings or additions over 500 square feet shall pay developer's fees to both the San Mateo United High School District AND the Millbrae Elementary School District as permitted by the California Education Code section 17620 and California Government Code Section 53080. When a building permit is ready to issue, the permit applicant will be given a copy of the completed application to deliver to the school districts to pay the fees. Then proof of payment must be submitted to the City Building before the permit can be issued. Please visit the following website to call for current fees and for payment: <https://www.ci.millbrae.ca.us/home/showpublisheddocument?id=17533>.
11. Hours of Construction - Pursuant to Millbrae Municipal Code Section 9.05.040, the hours of noise generating construction activity shall be limited to the hours of 7:30 AM to 7:00 PM Monday through Friday, 8:00 AM to 6:00 PM Saturdays and 9:00 AM to 6:00 PM on Sundays and Holidays. Work outside of these hours may be approved by the Building Official when requested, in writing, a minimum of 48 hours in advance.

#### **STANDARD CONDITIONS:**

12. Construction Conformance with Approved Planning Application - All building permit application plans and details, and subsequent construction shall substantially conform with the approved planning application, including: drawings, plans, renderings, materials samples, building colors, the written project description, and other items submitted as part of the approved planning application. No signage is approved as part of the planning application; signage is governed by the City's Sign Ordinance. Documentation of any changes to the approved Planning Application plan set shall be provided at the time of Building Permit application submittal. Any proposed modifications to the approved planning application must be reviewed by the Community Development Director. Modifications to Building Permit plans must be approved prior to construction of the modified improvements. The Community Development Director shall determine whether the proposed modifications substantially conform with the approved planning application, or whether a planning application for a modification of a previously approved planning application is required to be submitted to permit the proposed project modifications.
13. Prior to the framing inspection, a licensed surveyor shall measure the height of the roof ridge and certify in writing that the overall building height is per the approved plans. Said certification shall be submitted to the Building Division prior to the framing inspection being scheduled.
14. Planning Inspections - Planning inspections shall be required at rough framing stage and prior to the release of utilities, final inspection, or issuance of a certificate of occupancy, whichever occurs first. The applicant shall submit a written verification prepared by the Project Licensed Landscape Architect that the Landscape Architect has inspected all trees, shrubs, planting and irrigation and that they are installed and functioning as specified in the approved plans.

15. Conformance with Approved Planning Application at All Times - All physical improvements, uses, and operational requirements authorized by the approved planning application shall substantially conform at all times that the use permitted by this planning application occupies the premises with the approved planning application, including: drawings, plans, renderings, materials samples, building colors, the written project description, and other items submitted as part of the approved planning application. Any proposed modifications to the approved planning application must be reviewed by the Community Development Director. The Community Development Director shall determine whether the proposed modifications substantially conform with the approved planning application, or whether a planning application for a modification of a previously approved planning application is required to be submitted to permit the proposed project modifications.
16. All landscaped areas on the property must be maintained in a neat, healthy, and growing condition, including public parkways and street trees. The property owner shall be responsible for ensuring the healthy growth of all landscaping on the site.
17. The property shall be developed and maintained in a neat, quiet, and orderly condition and in a manner so as not to be detrimental to adjacent properties and occupants. This shall encompass the maintenance of the exterior facades of the building and all landscaping surrounding the building.
18. Payment of Outstanding Planning Application Fees - The applicant shall pay any outstanding planning applications fees prior to the issuance of the first required building permit.
19. Indemnification:
  - a. As a condition of this approval, and to the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, consultants, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever (collectively "Claims") that are caused directly by any third party challenges to the City's approval of the applicant's applications for approval of the project including, but not limited to, the City's California Environmental Quality Act determination for the project. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon

demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition. If the applicant is required to defend the City as set forth above, the City shall retain the right to select the counsel who shall defend the City. The parties shall cooperate in the joint defense and if applicable settlement of any such Claim.

20. Developer is hereby notified, as required by Government Code §66020, that the approved plans, the conditions of approval, and the adopted City fee schedule found at <https://www.ci.millbrae.ca.us/departments-services/finance-department> constitute written notice of the description of the dedications, reservations, amount of fees and other exactions related to the project. As of the date of project approval, the 90-day period has begun in which Developer may protest any dedications, reservations, fees or other exactions imposed by the City. Failure to file a protest within the 90-day period in compliance with all of the requirements of Government Code §66020 will result in a legal bar to challenging the dedications, reservations, fees or other exactions.

#### **BUILDING DIVISION CONDITIONS:**

21. The project shall be required to equip the entire building with an automatic fire sprinkler system and the building permit submittal plans shall be reviewed and approved by the Building Department for compliance prior to issuance of building permits.
22. Applicant shall contact the Public Works Engineering Division for compliance with requirements regarding joint lateral water supply separation, if needed.
23. The project shall comply with current building code requirements from foundation to roof construction.
24. The 2019 California Building, Residential, Mechanical, Plumbing, and Electrical Codes (i.e., 2018 IBC, IRC, UMC, UPC, and 2017 NEC as amended by the State of California), 2019 California Energy Code, and 2019 California Green Building Standards Code, as applicable, and City's Municipal Code shall be used as the basis for the plan review.
25. The project applicant, at the time of building permit submittal, shall submit drainage design, showing the grade sloping away from the building foundation, away from neighboring properties and to either onsite retention/detention or to discharge onto the public way. For onsite retention/detention systems the applicant shall provide calculations and identify locations & sizes of all piping and all other components – including sump pumps. Any storm water diverted to the street shall be by means of piping under the sidewalk and through the curb as per city standards. An encroachment permit from public works shall be required. For onsite retention provide calculation for 1.5 inches/hr. (0.016 gallons per minute per square foot) based on 60 minutes duration. 100-year return. Similar to CPC Appendix D, Table 101.1..

26. During construction the following standards for sanitation are required: Garbage cans, construction dumpsters, and debris piles shall be removed on a minimum weekly basis. All food related trash items such as wrappers, cans, bottles, and food scraps shall be disposed of in closed containers only and shall be regularly removed from the site. Inspections, conducted as part of the regular construction compliance, will be conducted to ensure compliance of the Applicant and contractors with this requirement.

## **PUBLIC WORKS CONDITIONS:**

27. Site Improvement Plans. The applicant shall ensure that Site Improvement Plans for all on-site and off- site improvements are prepared by a Registered Civil Engineer and approved by the City Engineer. All improvements shall be designed and constructed in accordance with the City's Design Standards, Specifications and Standard Plans, unless otherwise specifically approved by the City. On-site and off- site improvements include, but are not limited to, the following: storm drainage, street improvements, utilities, and landscaping; water mains and fire hydrants; sanitary sewer; utility undergrounding; and any other improvements listed herein necessary for a complete and acceptable public improvement project.

28. Encroachment Permit. The applicant shall obtain an Encroachment Permit from the City of Millbrae Public Works Department prior to beginning any work within any public right-of-way.

29. Private Property Off-site Encroachments. If the design of any site improvement requires encroachments onto neighboring properties during construction, the applicant shall obtain written agreement(s) with the affected neighboring property owner(s) for submittal to the City Engineer, for review and approval, prior to approval of the permit for the work.

30. Damage to Existing Utilities, Pipelines and Other Appurtenant Structures. Any existing utilities, pipelines and other appurtenant structures that are to remain after development, if damaged by project construction, shall be replaced by the applicant to the satisfaction of the City Engineer, prior to the release of utilities, final inspection, or issuance of a certificate of occupancy, whichever occurs first.

31. Street Fixtures. All typical street fixtures, including but not limited to, fire hydrants, electroliers, signs, and utility boxes, shall be located either within a P.U.E., behind the sidewalks, or as otherwise approved by the City Engineer.

32. Grading and Drainage Plan. The applicant shall submit all information including a Grading Plan accompanied by Soils Engineering and Engineering Geology Reports, in the accordance with requirements of the City of Millbrae Municipal Code Title 9, Chapter 9 and obtain a grading permit and pay appropriate fee and security deposit. The recommendations contained within the geotechnical report shall be included in the Site Grading and Drainage Plan. The Site Grading and Drainage Plan shall be prepared by the developer's civil engineer and approved by the project geotechnical engineer.

33. Erosion Control Measures. The Grading and Drainage Plan shall also include erosion control measures to prevent soil, dirt and debris from entering the storm drain system, in accordance with the practices outlined in the ABAG Erosion and Sediment Control Handbook, California Storm Water Best management practice Handbooks, and the Regional Water Quality Control Board's Erosion and Sediment Control Field Manual.
34. Compliance with Regulations. The applicant shall comply with the regulations and provisions contained in the City's Grading Ordinance, the City's Storm Water Pollution Prevention Permit, and the National Pollutant Discharge Elimination System (NPDES), to the satisfaction of the City Engineer and the Regional Water Quality Control Board.
35. Deposit for Engineering, Inspection and Survey Services. Prior to plan check, the applicant shall be required to deposit funds in an amount satisfactory to the City Engineer with the City Public Works Department to pay for all engineering plan review, inspection and survey services that may be required during plan check and construction of the project. The amount of the deposit shall be determined based on the cost estimate of the public improvements of the project. The deposit shall be submitted prior to Public Works plan check of the building permit plans. For any costs in excess of the deposit, the City reserves the discretion to require the applicant to increase the deposit or bill the applicant monthly. If billed monthly, invoices submitted to the applicant shall be paid within 30 days of receipt. Any outstanding balance shall be paid in full prior to final occupancy. The City will refund any portion of the deposit not utilized after the final inspection, or issuance of a final certificate of occupancy, whichever occurs last.

Public Improvements and Utilities:

36. Haul Route Map. Prior to approval of the first required building permit by the Public Works Department, the applicant shall conduct a pre-construction pavement survey to the satisfaction of the City Engineer of all streets designated as the haul route for construction of the approved development. The applicant shall submit a designated Haul Route Map for approval by the City Engineer. A post-construction pavement survey shall be conducted immediately after completion of all project-related construction with the applicant and the City Engineer on all haul routes to determine the extent of pavement reconstruction and/or repair that may be needed. Post-construction pavement index on haul routes shall be at least equal to that existing prior to the start of construction or shall have a Pavement Condition Index of at least 70.
37. Haul road within the City of Millbrae shall be cleaned daily, or more often, as required by the City Engineer, of all dirt and debris spilled or tracked onto City streets or private driveways.
38. Traffic Control Plan. The applicant shall prepare and submit a Traffic Control Plan, subject to review and approval by the City Engineer, indicating the work areas, delineators, signs and other traffic control measures that are required for work that impacts traffic on existing streets. This Plan must be reviewed and approved prior to the issuance of the first required building permit.

39. Construction Cost Estimate. The applicant shall submit a construction cost estimate form indicating the quantities of the street and utility improvements with the submittal of the building permit improvement plans. This estimate must be submitted to the City Engineer and is subject to the review and approval by the City Engineer. The construction cost estimate is used to estimate the cost of street and utility improvements for purposes of providing Performance and Payment bonds to the City for all the off-site construction.
40. Storm Drainage Improvements. All storm drainage facilities shall be in accordance with the City of Millbrae standards.
41. Stormwater Management: A detailed stormwater management plan shall be submitted demonstrating implementation of best management practices, including the following:
42. Operation and Maintenance Agreement. The applicant shall execute an Operation and Maintenance (O&M) Agreement with the City for all stormwater treatment measures prior to occupancy and specify the owner's responsibility to ensure their ongoing effective operation and maintenance. All stormwater treatment measures installed by the Applicant, including any treatment measures within the Public Right-of-Way are the responsibility of the Applicant. Such O&M responsibility requirements shall be recorded on the property deed. The O&M Agreement shall be submitted to the City Engineer and is subject to the review and approval by the City Engineer.
43. Sanitary Sewer. Sanitary sewer service to the project is to be connected to City facilities. All existing sanitary sewer laterals shall be abandoned and disconnected at the mainline. Flow and capacity calculations shall be prepared and submitted showing the proposed new lateral is adequately sized.
44. Underground Utilities. The building permit and site \ infrastructure application plans shall show the installation of all new, and upgraded, utility service, including telephone, electric power, and other communications lines underground to the building in accordance with City of Millbrae General Conditions for Public Works Construction. Final designs are subject to the review and approval by the City Engineer.
45. Joint Utility Plans. The applicant shall submit joint utility plans showing the location of the proposed electric, gas, telephone, and cable television conduits and vaults. These plans shall be combined and made a part of the improvement plans. Applicant shall dedicate Public Utility Easements as necessary for the common utilities. The joint utility plans shall be submitted to the City Engineer and is subject to the review and approval by the City Engineer.
46. Construction Management Plan. The applicant shall submit a Construction Management Plan, subject to review and approval by the City Engineer. The following street cleaning note shall be stated in the plan: "The prime contractor or developer shall hire a street cleaning contractor to clean up dirt and debris from City streets that are attributable to the development's construction activities. The street cleaning contractor shall have the

capability of sweeping the streets with both a broom-type sweeper and a regenerative air vacuum sweeper, as directed by the City Engineer.”

## **ENVIRONMENTAL SERVICES CONDITIONS:**

47. Debris Box & Roll-Away Bins: The City has an exclusive contract with South San Francisco Scavenger. All debris boxes and roll-away bins shall be obtained through South San Francisco Scavengers. A Debris Box Acknowledgement Form must be filled out prior to obtaining any permits and included in the document referenced below. A debris Box Acknowledgement Form can also be obtained by e-mailing [apappajohn@ci.millbrae.ca.us](mailto:apappajohn@ci.millbrae.ca.us), calling (650) 259-2444 or picking one up at the Public Works counter at City Hall.
48. Construction and Demolition Reuse and Recycling Requirements & Space Requirements: Applicant shall follow the CalGreen Building Code requirements for reusing and recycling materials generated from projects as implemented by the City’s Building Division.
49. Solid waste bins – operations: Applicant is required to subscribe to the city’s three-container collection services per City code 6.45.030. Generator shall place source separated green container organic waste, including food waste, in the green container; source separated recyclable materials in the blue container; and gray container waste in the gray container. Applicant shall ensure that they have subscribed to a recycling and organics recycling service level that is sufficient to allow all recyclables and organics to be collected from their property.

## **SPECIAL CONDITIONS**

50. Applicant shall provide an irrigation plan for review and approval by the Planning Division prior to issuance of building permits.
51. Applicant shall be required to provide natural grass landscaping in the rectangular area at the rear of the back yard and shall indicate this on the landscape plans for review and approval by the Planning Division prior to issuance of building permits. A sports court is not permitted.

Hector Estipona  
 HGE Building Design INC  
 337 Beach Road, Suite A  
 Burlingame, CA 94010  
 (415) 305-8731  
 hgestipona28@gmail.com

Updated : 03/25/2022

360 Loyola Dive  
 PROJECT DESCRIPTION

**HISTORY:**

The subject property caused fire extensive damaged mainly in the garage area and parts of the adjacent habitable area all the way to the back attic space. The property owner purchased the property fire damaged as 'As-Is'. No exact date timeline given of the fire occurred. No inspection package provided.

A Building Permit/s has been obtained for the following:

- a- Building Permit / Plan Check # **2019-1418**
  - New Basement floor addition to the back of the house, first floor remodel, fire damage repair-in-kind
  - Date submitted: around mid-November of 2019
  - Date of Building Permit pull out: February 19, 2020
    - (This permit includes the Grading Permit)
  - Date of Construction Began: March 9, 2020
- b- Building Permit / Plan Check # **2020-1350**
  - Applied as a Revision to the Building Department to above permit item 'a'
  - Proposed Backyard site improvement that includes in addition to new proposed Recreational Court, Landscaping, Retaining Wall and Fencing.
  - Date Submitted: May 28, 2020
- c- City Building Permit # **2020-1550**
  - Applied as a Revision to the above permit item 'a' during the course of the item 'b' permit processing.
    - A neighbor complaint and concerns arised (May 6, 2020)
    - Demolition and Shoring Plan as per 'Stop of Work' order by the City Building Official during field /site Inspection to require a Demo and additional shoring Plan Safety issues to meet OSHA requirement.
  - Date Submitted: July 27, 2020
  - As per approved plan, portion of the existing structure middle part of the house demolished to allow access of machinery and heavy equipment for drilling and shoring requirements. Due to some circumstances the Owner and General contractor decided to demolished most of the house structure except the Garage. Due to the fact that found out that most of attic roof structure extensively fire damaged.
    - (See exhibits on plans sheet A3.2.1)
  - With fire dust hazards exist and safety hazards problem decided to removed altogether as well and more cost effective practically.

**PROJECT DESCRIPTION:**

A proposed new first floor as a replacement of the existing fire damage residence which is not worth saving. Per City of Millbrae Zoning Code is considered and categorically new construction for a new layout for the first floor in addition to the issued approved building permit for the basement floor addition to the back. Designed to go along with the downsloping grade towards the rear yard and not visible from the street.

The proposed new first floor addition has been designed to complement the basement addition with the same 'sloped' roof design concept of the demoed structure. The proposed new roof structure would actually was reduced from existing 4.5 /12 to 3.5 / 12 roof pitch. The existing fire damaged attached two car garage will be removed to make way for new landscaping. A new proposed garage will be relocated within the existing footprint of the structure now parallel to the street to compliment the next adjacent left neighbor garage pattern. A 3-car garage we proposed 2-car garage door would split and offset back from the 1-car garage door to minimized overall massing. Exterior material used mainly of stucco, a stone veneer around the façade as well. Windows and patio doors would be wood aluminum clad, solid wood garage and main door quality materials being used. Color as specified and material board has been provided. The front landscaping was carefully designed with a permeable concrete pavers on the driveway and walkway, a plant selection of variety of drought resistance species has been provided.

We feel that the architectural style of the house would be compatible to neighboring vicinity area. The house has been designed to comply with the 'Design Guidelines'. All required setbacks has been complied with no special circumstances.

The exterior appearance of the house a combination of conventional stucco. Typical window and door openings to be recessed to create a bold shadow line.

Sincerely,

*Hector Estipona*

Hector Estipona



**City of Millbrae**  
PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, KAI CHAO SUN (ALBERT), (owner/owner's agent), have met with the party listed below regarding a BUILDING PERMIT (type of permit(s)) for FIRST FLOOR ALTERATION/RENOVATION \* (project description) at 360 LOYOLA DRIVE (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

*Kai Chao Sun*

2-20-21

Date

\* Project is considered and categorically NEW CONSTRUCTION as per city of Millbrae Municipal Code

**THIS FORM IS TO BE RETUNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT**

(Adjacent property owner to complete the following)

I, Peter Yeh, own the property located at 1200 FRONTERA WAY. On 1/1/1, the above proposal was shown to me and I received a copy of the plans.

I support the proposal as shown to me.

I oppose the proposal as shown to me

Signature

*PY* 2-20-21

Date

Name

Email

Contact Number

Comments (optional):

---



---



---

November 2017



**City of Millbrae**  
PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, KAI CHAO SUN (ALBERT), (owner/owner's agent), have met with the party listed below regarding a BUILDING PERMIT (type of permit(s)) for FIRST FLOOR ALTERATION/RENOVATION\* (project description) at 360 LOYOLA DRIVE (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

Date

2-21-21

\* Project is considered and categorically NEW CONSTRUCTION as per city of Millbrae Municipal Code

**THIS FORM IS TO BE RETUNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT**

(Adjacent property owner to complete the following)

I, Kathy Matthes, own the property located at 329 CASTANEDA DRIVE. On 2-22-21, the above proposal was shown to me and I received a copy of the plans.

I support the proposal as shown to me.

2-22-21

I oppose the proposal as shown to me

Signature

Date

Name \_\_\_\_\_ Email \_\_\_\_\_

Contact Number \_\_\_\_\_

Comments (optional):

**RECEIVED**

*MAR 9 2021*

**CITY OF MILLBRAE**

*November 2017*

**PLANNING DIVISION**

Community Development Department – Planning  
621 Magnolia Ave, Millbrae, CA 94030

Main 650.259.2341  
Fax 650.697.2657



**City of Millbrae**  
PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, KAI CHAO SUN (ALBERT), (owner/owner's agent), have met with the party listed below regarding a BUILDING PERMIT (type of permit(s)) for FIRST FLOOR ALTERATION/RENOVATION \* (project description) at 360 LOYOLA DRIVE (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

Kai Chao Sun

2-20-21

Date

\* Project is considered and categorically NEW CONSTRUCTION as per city of Millbrae Municipal Code

**THIS FORM IS TO BE RETUNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT**

(Adjacent property owner to complete the following)

I, HEIDE HARRIS, own the property located at 350 LOYOLA DRIVE. On / /, the above proposal was shown to me and I received a copy of the plans.

I support the proposal as shown to me.

Signature

Date

Heide Harris 2/20/21

I oppose the proposal as shown to me

Signature

Date

Name

Email

Contact Number

Comments (optional):

**RECEIVED**

**MAR 9 2021**

**CITY OF MILLBRAE** November 2017  
PLANNING DIVISION



**City of Millbrae**  
PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, KAI CHAO SUN (ALBERT), (owner/owner's agent), have met with the party listed below regarding a BUILDING PERMIT (type of permit(s)) for FIRST FLOOR ALTERATION/RENOVATION\* (project description) at 360 LOYOLA DRIVE (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

Date

2-21-21

\* Project is considered and categorically NEW CONSTRUCTION as per city of Millbrae Municipal Code

**THIS FORM IS TO BE RETUNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT**

(Adjacent property owner to complete the following)

I, Kathy Matthes, own the property located at 329 CASTANEDA DRIVE. On 2-22-21, the above proposal was shown to me and I received a copy of the plans.

I support the proposal as shown to me.

2-22-21

I oppose the proposal as shown to me

Signature

Date

Name

Email

Contact Number

Comments (optional):

**RECEIVED**

*MAR 9 2021*

**CITY OF MILLBRAE**

*November 2017*

**PLANNING DIVISION**

Community Development Department – Planning  
621 Magnolia Ave, Millbrae, CA 94030

Main 650.259.2341  
Fax 650.697.2657



# City of Millbrae

## PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, KAI CHAO SUN (ALBERT), (owner/owner's agent), have met with the party listed below regarding a BUILDING PERMIT (type of permit(s)) for FIRST FLOOR ALTERATION/RENOVATION \* (project description) at 360 LOYOLA DRIVE (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

Date

2-22-21

\* Project is considered and categorically NEW CONSTRUCTION as per city of Millbrae Municipal Code

**THIS FORM IS TO BE RETUNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT**

(Adjacent property owner to complete the following)

I, Laura Tsang, own the property located at 370 LOYOLA DRIVE. On 2/22/21, the above proposal was shown to me and I received a copy of the plans.

I support the proposal as shown to me.

Signature

Date

2/22/21

I oppose the proposal as shown to me

Signature

Date

Name

Laura Tsang

Email

LauraTsang88@gmail.com

415-341-3404  
Contact Number

Comments (optional):

RECEIVED

MAR 9 2021

CITY OF MILLBRAE  
PLANNING DIVISION

November 2017

RECEIVED

MAR 9 2021

CITY OF MILLBRAE  
PLANNING DIVISION

U.S. Postal Service™  
CERTIFIED MAIL® RECEIPT

*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Millbrae, CA 94030 *MILLBRAE CA* OFFICIAL USE

Certified Mail Fee

\$ 3.60

Extra Services & Fees (check box, add fee to above total)

<input type="checkbox"/> Return Receipt (hardcopy)	\$ 0.00
<input type="checkbox"/> Return Receipt (electronic)	\$ 0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ 0.00
<input type="checkbox"/> Adult Signature Required	\$ 0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ 0.00

0160

04

Postmark  
Here

Postage

\$ 0.55

Total Postage and Fees

\$ 4.15

02/23/2021

USPS 94030-59

Sent To

Street and Apt. No. or P.O. Box No.

City, State, ZIP+4

559 Castanada



# City of Millbrae

621 Magnolia Avenue, Millbrae, CA 94030

ANN SCHNEIDER  
Mayor

ANNE OLIVA  
Vice Mayor

GINA PAPAN  
Councilmember

ANDERS FUNG  
Councilmember

REUBEN D. HOLOBER  
Councilmember

March 18, 2021

Resident/Owner  
350 Loyola Drive  
Millbrae, CA 94030

## RE: 360 Loyola Proposed Design Review Notification

Dear Resident:

The planning department is reviewing an application for proposed work at 360 Loyola Drive. We would like to confirm you were notified of the planned construction and were given the opportunity to review the proposed plans. If you have any questions please do not hesitate to contact me by April 2, 2021.

Sincerely,

Linda Roberson  
Assistant Planner  
[lroberson@ci.millbrae.ca.us](mailto:lroberson@ci.millbrae.ca.us)  
650-259-2351

City Council/City Manager/City Clerk  
(650) 259-2334

Fire  
(650) 558-7600

Building Division/Permits  
(650) 259-2330

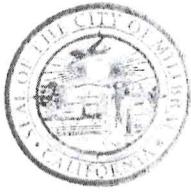
Police  
(650) 259-2300

Community Development  
(650) 259-2341

Public Works/Engineering  
(650) 259-2339

Finance  
(650) 259-2350

Recreation  
(650) 259-2360



# City of Millbrae

621 Magnolia Avenue, Millbrae, CA 94030

ANN SCHNEIDER  
Mayor

ANNE OLIVA  
Vice Mayor

GINA PAPAN  
Councilmember

ANDERS FUNG  
Councilmember

REUBEN D. HOLOBER  
Councilmember

March 18, 2021

Resident/Owner  
339 Castenanda Drive  
Millbrae, CA 94030

## RE: 360 Loyola Proposed Design Review Notification

Dear Resident:

The planning department is reviewing an application for proposed work at 360 Loyola Drive. We would like to confirm you were notified of the planned construction and were given the opportunity to review the proposed plans. If you have any questions please do not hesitate to contact me by April 2, 2021.

Sincerely,

Linda Roberson  
Assistant Planner  
[lroberson@ci.millbrae.ca.us](mailto:lroberson@ci.millbrae.ca.us)  
650-259-2351

City Council/City Manager/City Clerk (650) 259-2334	Building Division/Permits (650) 259-2330	Community Development (650) 259-2341	Finance (650) 259-2350
Fire (650) 558-7600	Police (650) 259-2300	Public Works/Engineering (650) 259-2339	Recreation (650) 259-2360



# *City of Millbrae*

621 Magnolia Avenue, Millbrae, CA 94030

ANN SCHNEIDER  
Mayor

ANNE OLIVA  
Vice Mayor

GINA PAPAN  
Councilmember

ANDERS FUNG  
Councilmember

REUBEN D. HOLOBER  
Councilmember

March 18, 2021

Resident/Owner  
329 Castenanda Drive  
Millbrae, CA 94030

**RE: 360 Loyola Proposed Design Review Notification**

Dear Resident:

The planning department is reviewing an application for proposed work at 360 Loyola Drive. We would like to confirm you were notified of the planned construction and were given the opportunity to review the proposed plans. If you have any questions please do not hesitate to contact me by April 2, 2021.

Sincerely,

Linda Roberson  
Assistant Planner  
[lroberson@ci.millbrae.ca.us](mailto:lroberson@ci.millbrae.ca.us)  
650-259-2351



# City of Millbrae

621 Magnolia Avenue, Millbrae, CA 94030

ANN SCHNEIDER  
Mayor

ANNE OLIVA  
Vice Mayor

GINA PAPAN  
Councilmember

ANDERS FUNG  
Councilmember

REUBEN D. HOLOBER  
Councilmember

March 18, 2021

Resident/Owner  
370 Loyola Drive  
Millbrae, CA 94030

## RE: 360 Loyola Proposed Design Review Notification

Dear Resident:

The planning department is reviewing an application for proposed work at 360 Loyola Drive. We would like to confirm you were notified of the planned construction and were given the opportunity to review the proposed plans. If you have any questions please do not hesitate to contact me by April 2, 2021.

Sincerely,

Linda Roberson  
Assistant Planner  
[lroberson@ci.millbrae.ca.us](mailto:lroberson@ci.millbrae.ca.us)  
650-259-2351

City Council/City Manager/City Clerk (650) 259-2334	Building Division/Permits (650) 259-2330	Community Development (650) 259-2341	Finance (650) 259-2350
Fire (650) 558-7600	Police (650) 259-2300	Public Works/Engineering (650) 259-2339	Recreation (650) 259-2360



# *City of Millbrae*

621 Magnolia Avenue, Millbrae, CA 94030

ANN SCHNEIDER  
Mayor

ANNE OLIVA  
Vice Mayor

GINA PAPAN  
Councilmember

ANDERS FUNG  
Councilmember

REUBEN D. HOLOBER  
Councilmember

March 18, 2021

Resident/Owner  
1200 Frontera Way  
Millbrae, CA 94030

**RE: 360 Loyola Proposed Design Review Notification**

Dear Resident:

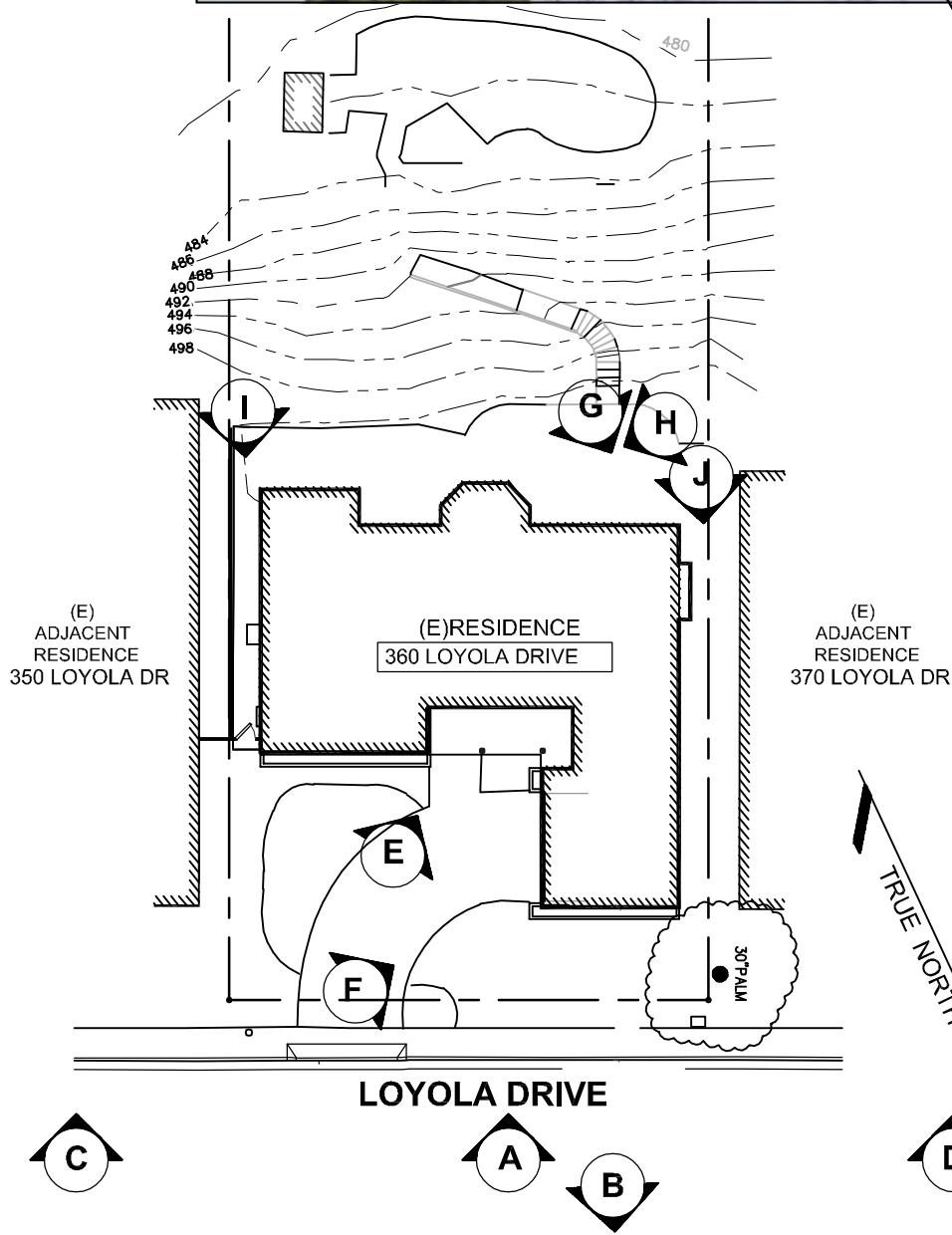
The planning department is reviewing an application for proposed work at 360 Loyola Drive. We would like to confirm you were notified of the planned construction and were given the opportunity to review the proposed plans. If you have any questions please do not hesitate to contact me by April 2, 2021.

Sincerely,

Linda Roberson  
Assistant Planner  
[lroberson@ci.millbrae.ca.us](mailto:lroberson@ci.millbrae.ca.us)  
650-259-2351



AREAL VIEW  
(SUBJECT PROPERTY)



## PHOTO KEY MAP

NO SCALE

NOTE:  
ALL PHOTOS TAKEN PRIOR TO ANY  
CONSTRUCTION



1200 FRONTERA WAY  
(ACROSS THE STREET) B



360 LOYOLA DRIVE  
(SUBJECT PROPERTY) A



370 LOYOLA DRIVE D



350 LOYOLA DRIVE C



GARAGE VIEW  
(SHOWING FIRE DAMAGED) F



VIEW  
(SHOWING FRONT FIRE DAMAGED) E



REAR VIEW

**H**



REAR VIEW

**G**



SIDE VIEW

**J**



SIDE VIEW

**I**

**GENERAL NOTES**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES, LAWS, ORDINANCES AND REGULATIONS.
- CONTRACTOR IS DIRECTED TO VISIT SITE AND FULLY COGNIZANT OF ALL CONDITIONS, ASCERTAIN AND CHECK CONDITIONS WITH THE DRAWINGS AND EXISTING DRAWINGS AND DETERMINE THE MEANS BY WHICH WORK WILL BE PERFORMED.
- NOTIFY OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY IF DISCREPANCY BETWEEN THE DRAWINGS AND THE ACTUAL SITE CONDITIONS OCCURS.
- RESTORE ALL THE DAMAGE AND LEAVE PREMISES IN CLEAN CONDITION WHEN FINAL FINISHED WORK.
- THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS FOR DIMENSIONS. ALL DIMENSIONS NOTES ARE CONSIDERED FROM FACE OF STUD FRAMING MEMBER UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO TOP OF PLATE OR TOP OF SUBFLOOR OR TOP OF CONCRETE IN SECTIONS OR ELEVATIONS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ANY QUESTIONS REGARDING THESE OR ANY OTHER COORDINATION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE OWNER OR DESIGNER BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.
- THE CONTRACTOR SHALL DISPOSE OF ALL DEBRIS AND SURPLUS MATERIAL FROM THE SITE IN A LEGAL MANNER. THE CONTRACTOR SHALL MAINTAIN ALL PARTS OF THE PROJECT IN A CLEAN AND ORDERLY CONDITION DURING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT THE BUILDING AND GROUND FROM ANY DAMAGE THAT MAY OCCUR FROM THE WORK ON THIS PROJECT, AND SHALL REPAIR ALL DAMAGE TO THE SATISFACTION OF THE OWNER. RESTORE ALL THE DAMAGE AND LEAVE PREMISES IN CLEAN CONDITION WHEN FINAL FINISHED WORK.

# 360 LOYOLA DRIVE

MILLBRAE, CA 94030

## PROJECT INFORMATION

PROPERTY OWNER:  
KAI CHAO SUN (ALBERT) & XUENA XIE  
360 LOYOLA DRIVE  
MILLBRAE, CA 94030  
kaichaosun@yahoo.com  
(415) 208-9886

BUILDING DESIGNER:  
HECTOR ESTIPONA  
223 BONITA AVENUE  
SOUTH SAN FRANCISCO, CA 94080  
hestipona28@gmail.com  
(415) 305-8731

## SCOPE OF WORK

FIRST FLOOR RENOVATION (CONSIDERED AND CATEGORICALLY NEW CONSTRUCTION PER CITY MMC DUE TO DEMOLITION EXTENT OF WORK TO PERMIT ITEM 'A' UNDER SEPARATE PERMIT TO PREVIOUSLY APPROVED ISSUED PERMITS):

A - BUILDING PERMIT / PLAN CHECK # 2019-1418  
NEW BASEMENT FLOOR ADDITION TO THE BACK OF THE HOUSE, FIRST FLOOR REMODEL, FIRE DAMAGED REPAIR IN-KIND.

B - BUILDING PERMIT / PLAN CHECK # 2020-1350  
REVISION - PROPOSED BACKYARD SITE IMPROVEMENT THAT INCLUDES IN ADDITION TO NEW LANDSCAPING, RETAINING WALL AND FENCING.

C - CITY BUILDING PERMIT # 2020-1554  
REVISION - DEMOLITION AND SHORING PLAN PER PERMIT IN CONNECTION TO ISSUED PERMIT ITEM 'A'  
THIS PERMIT WAS OBTAINED PER STOP OF WORK ORDERED BY THE CITY BUILDING OFFICIAL FIELD / SITE INSPECTION TO REQUIRE DEMO AND SHORING SAFETY ISSUES TO MEET OSHA REQUIREMENTS.

## PROJECT DATA

PARCEL APN 025-041-210

CENSUS TRACT V-B

CONSTRUCTION TYPE 30'-0" MAX (per MMC 10.05.0620)

HEIGHT & BULK DISTRICT R-1

ZONING R3 (SINGLE FAMILY RESIDENTIAL)

OCCUPANCY 20,924 SF (GROSS)

PARCEL AREA 2,960 SF

AREA CONTAINING SLOPE 30% OR GREATER 17,964 SF

NET SITE AREA AVAILABLE FOR DEVELOPMENT 17,964 SF

## EXISTING CONDITIONS

GROSS FLOOR AREA 5,243 SF

LOT COVERAGE (NTE 50%) 5,541 SF (26.5%)

F.A.R. (NTE 55%) 5,643 SF (31.4%)

## PROPOSED CONDITIONS

GROSS FLOOR AREA 9,464 SF \*1

LOT COVERAGE (NTE 50%) 5,461 SF (26.1%)

F.A.R. (NTE 55%) 9,464 SF (52.7%)

## FOOTNOTES:

\*1 - TOTAL GROSS FLOOR AREA BASED ON MMC METHOD OF CALCULATING INCLUDES FLOOR TO CEILING 9'-0" HEIGHT DIVIDEND, BALCONY/DECK >7'-0" ABOVE GRADE, & ATTIC FLOOR AREAS UNDER ROOF w/ CLNG HEIGHT >5'-0"

## PER CALIFORNIA BUILDING CODE / ACTUAL FLOOR AREA TOTAL (FOR REFERENCE ONLY)

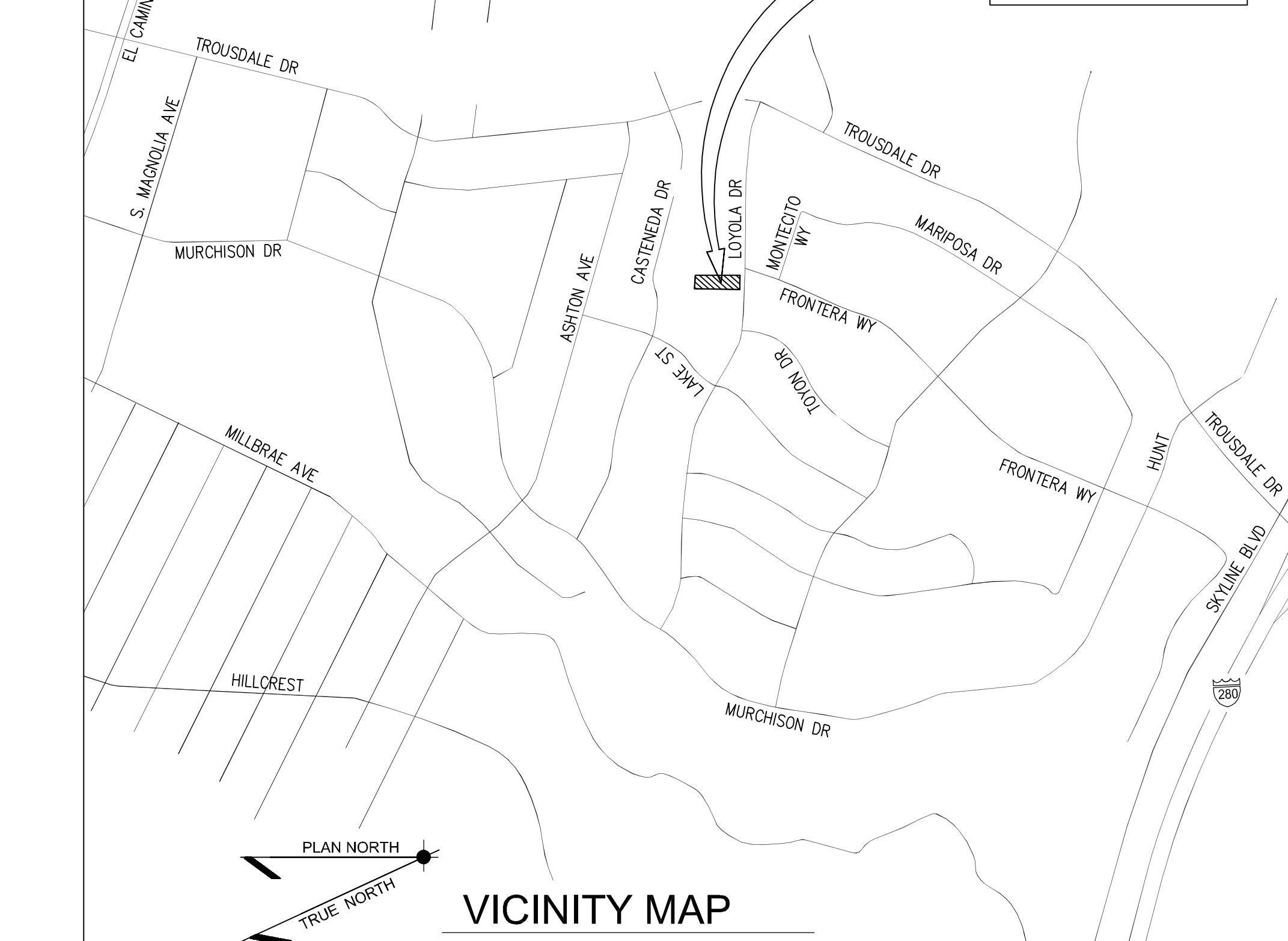
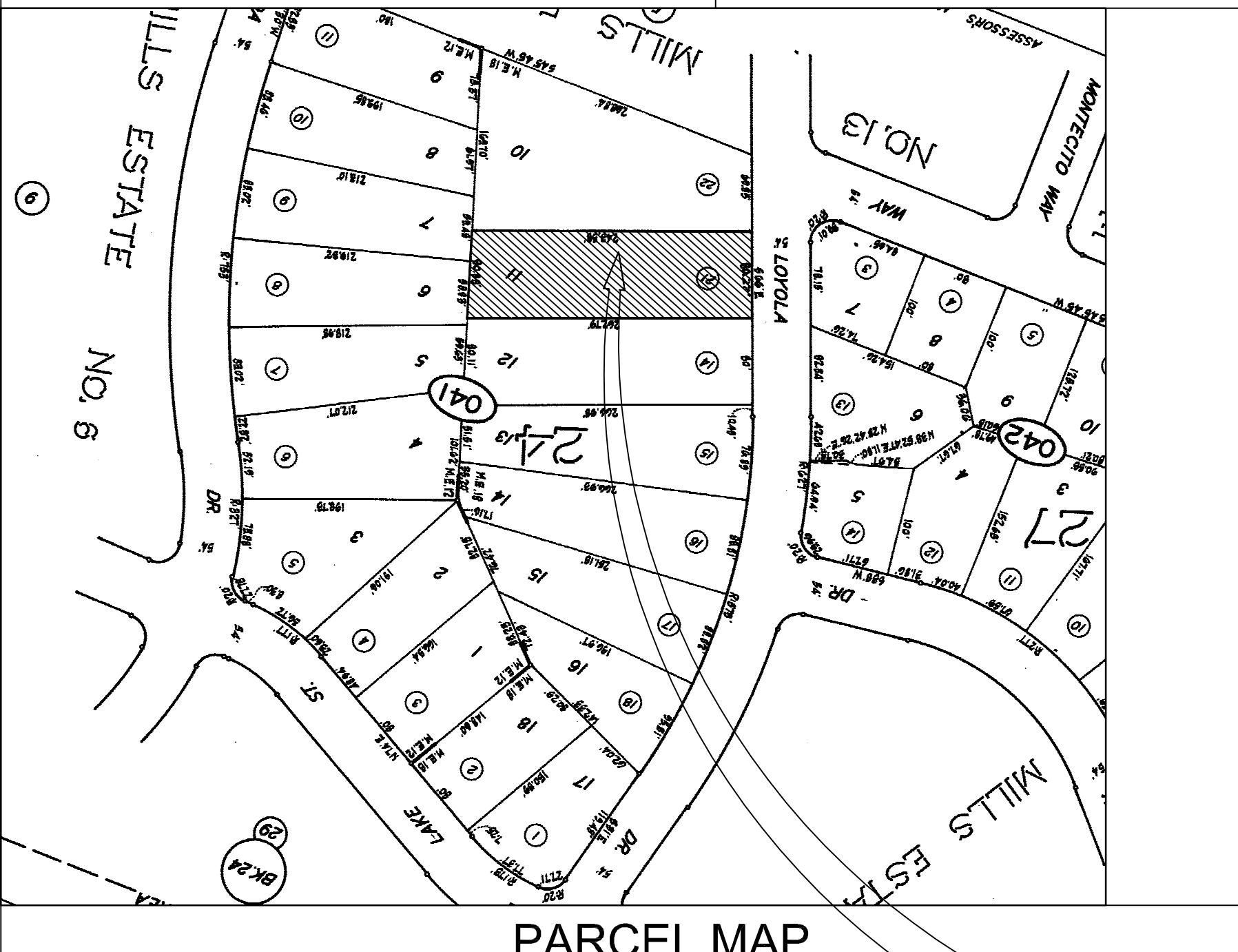
a - BASEMENT / LOWER LEVEL 2,537 SF

b - FIRST FLOOR (HABITABLE) 3,930 SF

c - ATTACHED 3-CAR GARAGE 678 SF

TOTAL HABITABLE AREA 6,467 SF

TOTAL BUILDING AREA 7,145 SF



## PUBLIC WORKS NOTES

- Replace all defective sidewalks, curbs and gutters where required by the city. All new sidewalk, curbs, & gutters shall be built to City standards. A city encroachment permit is required.
- Encroachment Permit is required from Public Works Department for any street opening, such as sidewalks, curbs and street pavement.

## PUBLIC WORKS ENGINEERING DEPARTMENT NOTES

A video of the Sanitary Sewer Lateral shall be provided to the Public Works Department for review. Upon approval from the Public Works Department shall be submitted the evidence of compliance to the Building Department prior to any Building Permit issuance.

## WASTE MANAGEMENT PLAN NOTES

At Final Inspection a completed Waste Management Plan - Part 2 : Final Summary shall be completed and signed, and with recycling receipts attached be provided to the Building Inspector.

## FIRE SPRINKLER SYSTEM (DEFERRED ITEM)

An Automatic Fire Extinguishing System is required to install throughout the structure. A separate application and permit are required. The application shall be made by either a Registered Engineer, or by the Licensed Fire Sprinkler Contractor who will be installing the Sprinkler System. System shall be designed and installed in accordance with the 2016 Edition of NFPA 13-D as adopted and amended by the Central County Fire Department. Application shall be made to:

Central County Fire Department (CCFD)  
1399 Rolling Rd.  
Burlingame, CA 94010.

The installation of Fire Sprinklers may require that the existing underground water service line is upsized to both domestic and Fire sprinkler demand.

The following submittals shall be required for the fire sprinkler system which shall be issued under a separate permit as a deferred submittal item:  
Drawings shall be submitted to Building Department for review and approval.

## EROSION CONTROL NOTES:

SEE EROSION CONTROL DURING CONSTRUCTION PLAN SHEET EC1 AND CONSTRUCTION BEST MANAGEMENT PRACTICES SHEET BMP

- All erosion control measures shall be on site abd readily accessible prior to construction.
- Sweep or scrape up soils tracked onto the road at the end of each day, do not hose into street, gutter, or storm drain.
- Revegetate disturbed areas. Exposed bare dirt shall be covered with mulch.
- Jul netting or other erosion control blanket.
- All temporary stockpiles shall be covered with 6 mm plastic sheets, suitably anchored.
- The site shall be monitored by the contractor/ owner after rain event to verify erosion control measures are functioning.

## STORM WATER

No storm waters, underground waters draining from any lot, building, or paved areas shall be allowed to drain to adjacent properties not shall these waters be connected to the city's sanitary sewer system.

Storm water to flow away from the building and away from the adjoining property and not create a nuisance per CPC 110.1

## DRAINAGE & GRADING NOTES:

SEE PRELIMINARY GRADING/DRAINAGE PLAN SHEET GD11 AND CONSTRUCTION BEST MANAGEMENT PRACTICES SHEET BMP

Adequate drainage away from the proposed building addition and existing building affected by grading of the project at all points. CRC Section R401.3. Surface drainage shall be diverted to a storm sewer convenience or other approved point of collection that does not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6" within the 10'-0".

Exception:  
Where lot lines, walls, slopes or other physical barriers prohibit 6" of fall within 10'-0" drains or swales shall be constructed to ensure drainage away from the structure. Impervious surfaces within 10'-0" of the building foundation shall be slope of a minimum of 2% away from the building.

Finished ground surfaces shall be graded to drain the finished site property. Finished ground slope within five feet of the buidng or structure shall slope away at a 5%.

## LANDSCAPING NOTES

SEE LANDSCAPING PLAN SHEET L1

- Replace all damaged, displaced existing hardscapes (driveways, walkways, patios, etc) as required per owner's directions.
- Existing Landscaping including lawn fence will remain or be rehabilitated if damaged or displaced during construction.

## TREE PROTECTION MEASURES NOTES:

The following tree preservation measures if apply to all trees to be retained:

- No storage of material, topsoil, vehicles or equipment shall be permitted within the tree enclosure area.
- The ground under and around the tree canopy area shall not be altered.
- Trees to be retained shall be irrigated and maintained as necessary to ensure survival.

## CODES

1 - ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE NATIONAL & LOCAL CODES AND ORDINANCES

CONSTRUCTION TYPE V-B

OCCUPANCY DWELLING R-3

ATTACHED GARAGE U-1

FIRE SPRINKLER SYSTEM YES (SEE 'FIRE SPRINKLER NOTES' THIS SHEET)

## DRAWING INDEX

A1.1 - COVER SHEET, VICINITY MAP  
A2.1 - (N) SITE PLAN  
A2.2 - SITE PLANS (PREVIOUSLY ISSUED APPROVED 2 PERMITS)  
A3.1 - (N) FIRST FLOOR PLAN (ADDENDUM)  
A3.1.1 - FIRST FLOOR PLAN (PREVIOUSLY ISSUED APPROVED PERMIT)  
A3.2 - (N) BASEMENT FLOOR PLAN (ADDENDUM)  
A3.2.1 - BASEMENT FLOOR PLAN (PREVIOUSLY ISSUED APPROVED PERMIT)  
A3.2.2 - BASEMENT FLOOR PLAN (CURRENTLY UNDER CONSTRUCTION) (INSET SHORING & DEMO PLAN APPROVED PERMIT)  
SF1.1 - FLOOR AREA CALCS  
SF1.2 - FLOOR AREA CALCS  
SF1.3 - FLOOR AREA CALCS  
SF1.4 - IMPERVIOUS/PERVIOUS AREA CALCS  
A4.1 - (E)&(N) FRONT ELEVATIONS  
A4.2 - (E)&(N) RIGHT SIDE ELEVATIONS  
A4.3 - (E)&(N) LEFT SIDE ELEVATIONS  
A4.4 - (E)&(N) REAR ELEVATIONS  
A5.1 - BUILDING SECTIONS  
A6.1 - (N) & (E) ROOF PLAN  
A7.1 - DETAILS  
A7.2 - DETAILS  
A7.3 - DETAILS, SPECS CUT SHEETS  
L1 - LANDSCAPING PLAN  
EC1 - EROSION/SEDIMENT CONTROL PLAN  
GD1 - GRADING/DRAINAGE PLAN  
BMP - BEST MANAGEMENT CONST'N PRACTICES SHEET  
SU1 - TOPOGRAPHIC SURVEY  
R1 - 3-D RENDERING

REVISIONS	BY
PLNG 6-23-21	
PLNG 01-07-22	
PLNG 02-14-22	

HECTOR G. ESTIPONA  
BUILDING DESIGNER  
223 BONITA AVENUE  
SOUTH SAN FRANCISCO, CA 94080  
hestipona28@gmail.com  
TEL # 415-305-8731

360 LOYOLA DRIVE  
MILLBRAE, CA 94030  
AP # 025-041-210  
OWNER KAI CHAO SUN (ALBERT) & XUENA XIE

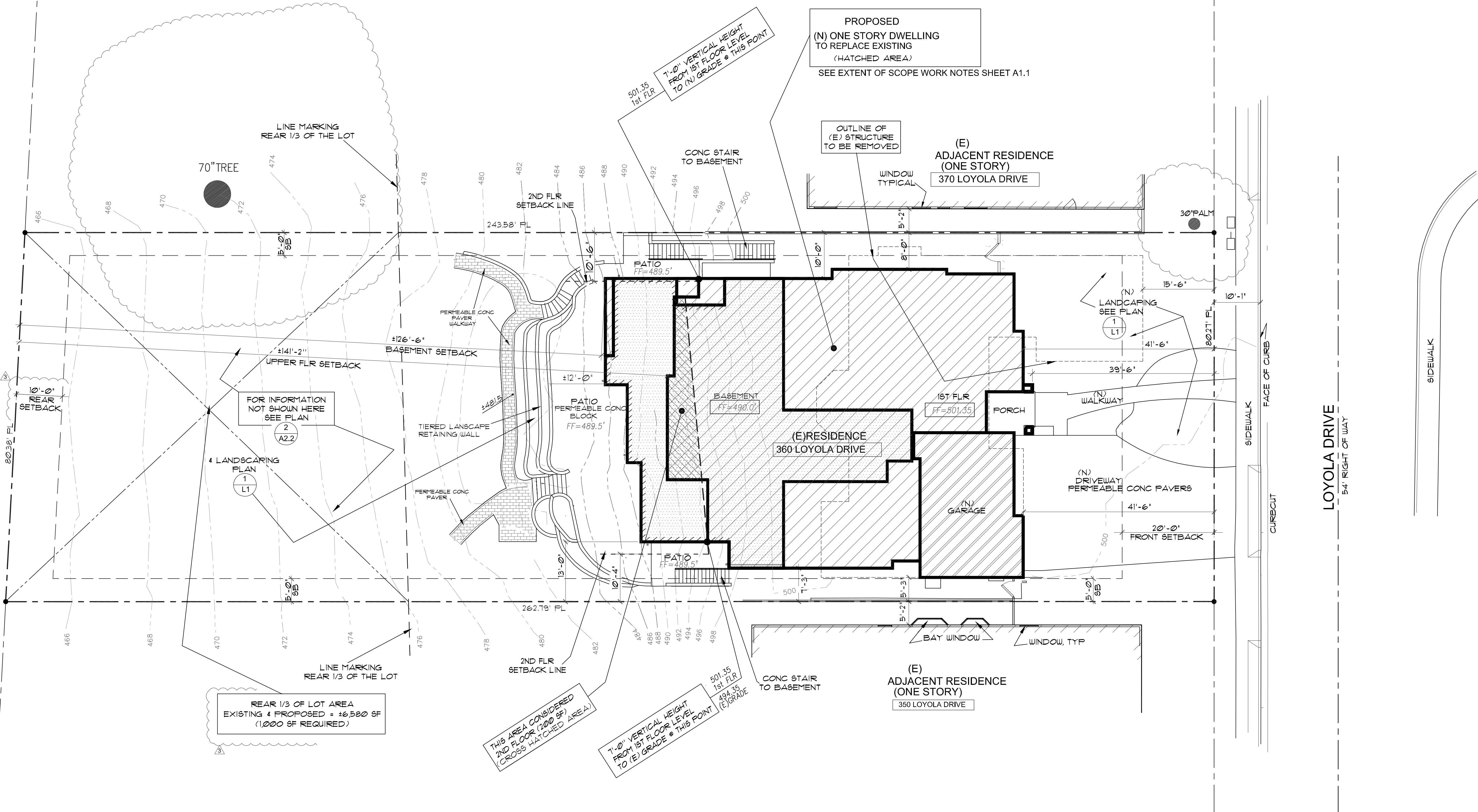
DATE 10-22-20  
SCALE AS NOTED  
DRAWN HE  
JOB  
SHEET  
A1.1  
OF SHEET

360 LOYOLA DRIVE  
MILLBRAE, CA 94030  
AP # 025-041-210  
OWNER KAI CHAO SUN (ALBERT) & XUENA XIE

**HECTOR G. ESTIPONA**  
BUILDING DESIGNER  
223 BONITA AVENUE  
SOUTH SAN FRANCISCO, CA 94080  
TEL # 415-305-8731  
[hgestipona28@gmail.com](mailto:hgestipona28@gmail.com)

REVISIONS	BY
PLNNG	
01-07-22	
PLNNG	
04-04-22	

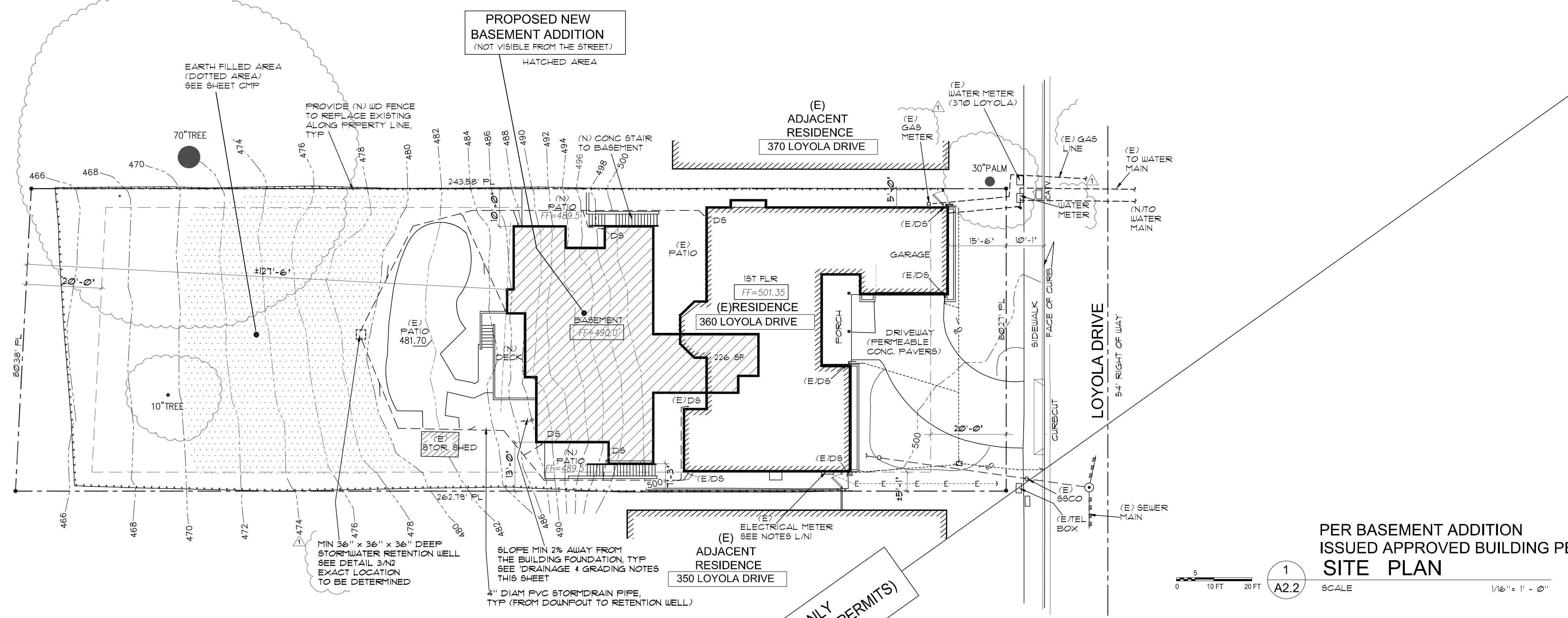
PLNNG  
01-07-22  
10-22-20  
AS NOTED  
OWN HE  
ET  
A2.1  
SHEET



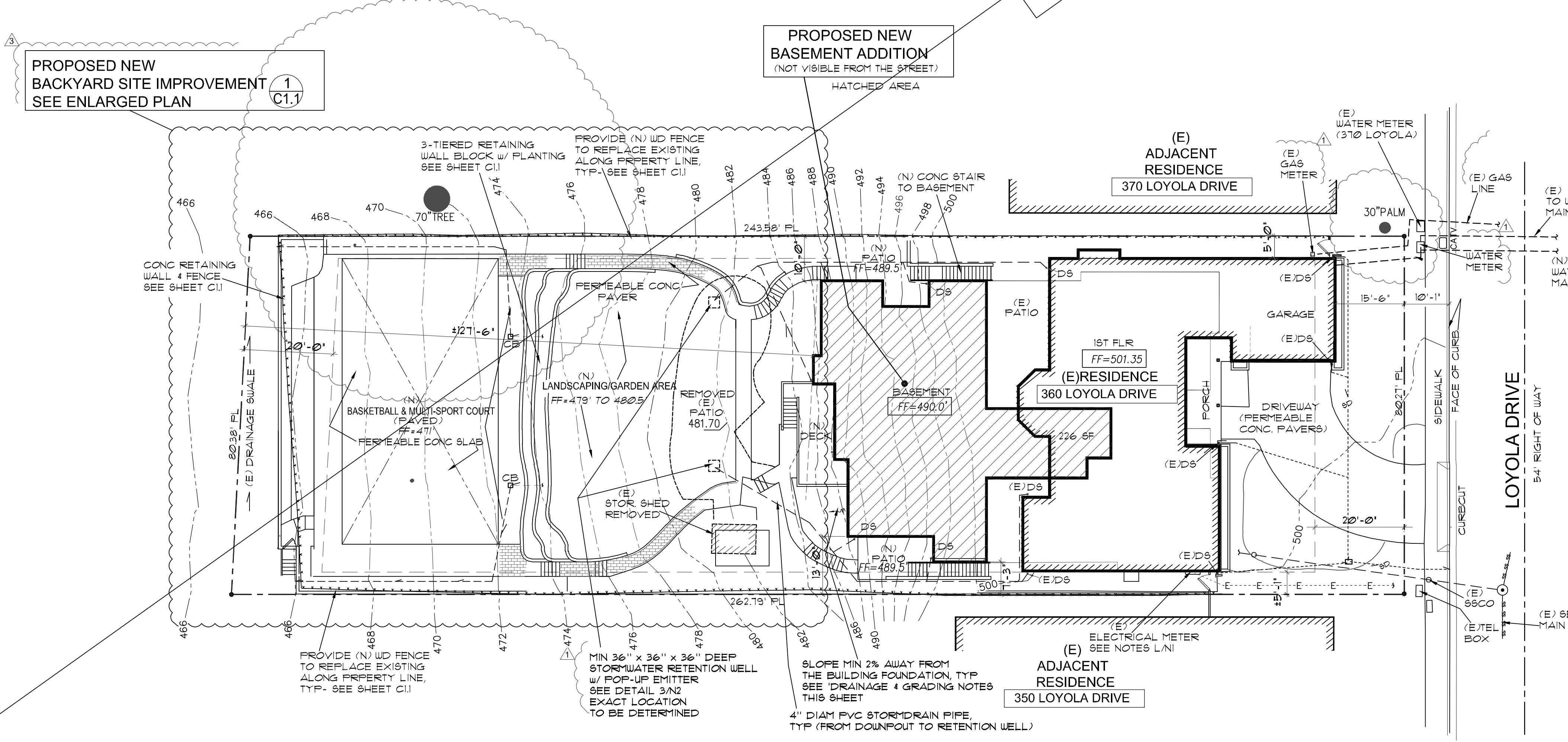
NOTE:  
FENCE ALONG THE SIDES, REAR PROPERTY LINES, GATES  
NOT SHOWN HERE - SEE LANDSCAPING PLAN SHEET L1

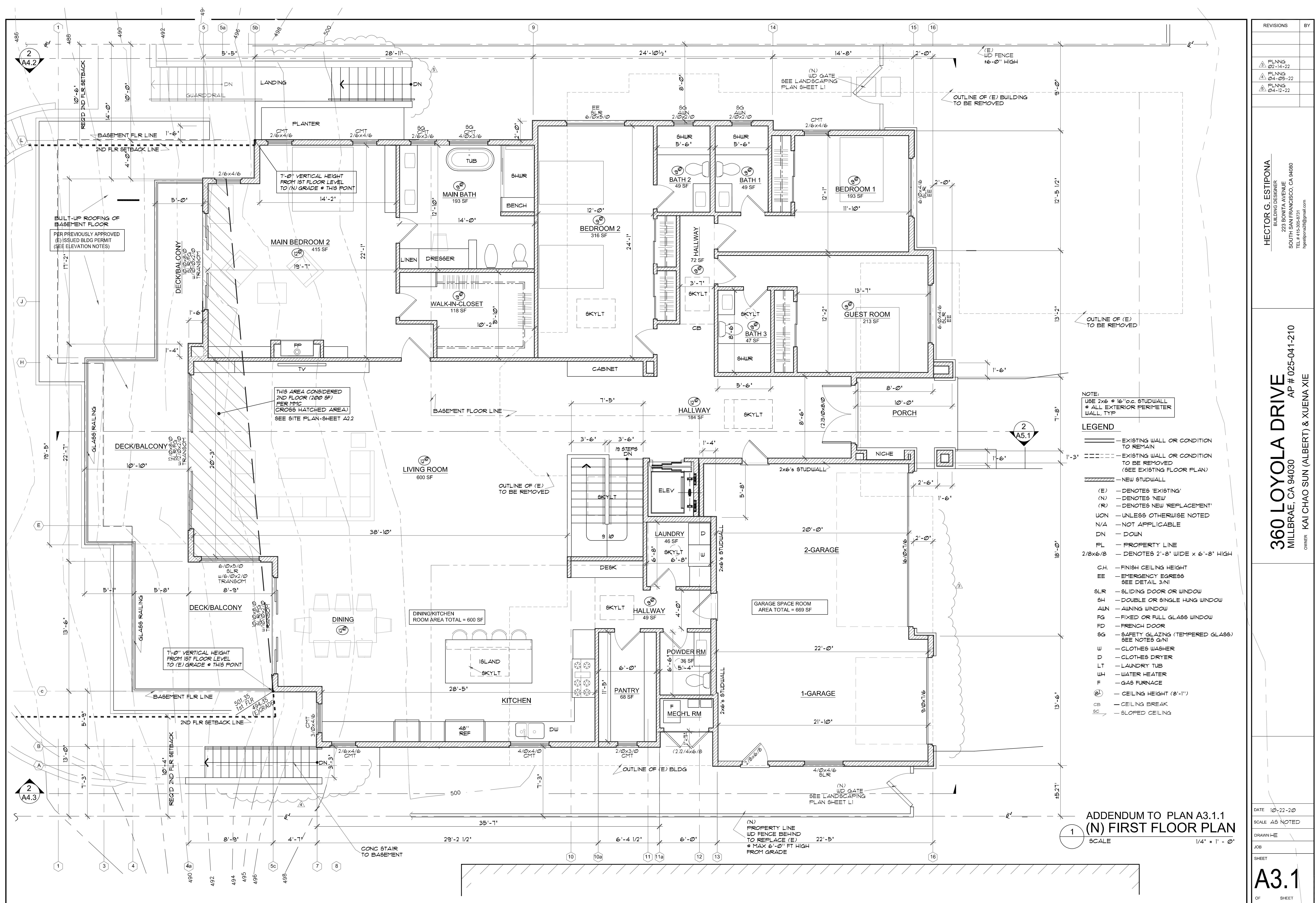
5  
0 10 FT 20 FT  
1  
A2.1  
(N) SITE PLAN  
SCALE  
3/32" = 1" - Ø"

# A2.1



FOR REFERENCE ONLY  
(FROM PREVIOUS ISSUED PERMITS)





REVISIONS	BY
3 PLNNG 02-14-22	
4 PLNNG 04-05-22	
5 PLNNG 04-12-22	
<b>HECTOR G. ESTIPONA</b>	
BUILDING DESIGNER 223 BONITA AVENUE SOUTH SAN FRANCISCO, CA 94080 TEL # 415-305-8731 hgestipona22@gmail.com	

360 LOYOLA DRIVE  
MILLBRAE, CA 94030  
AP # 025-041-210  
OWNER KAI CHAO SUN (ALBERT) & XUENA XIE

TE 10-22-20  
ALE AS NOTED  
AWN HE  
3  
EET  
**A3.1**  
SHEET

# A3.1

360 LOYOLA DRIVE  
MILLBRAE, CA 94030  
OWNER: KAI CHAO SUN (ALBERT) & XUENA XIE  
AP # 025-041-210

DATE: 10-22-20  
SCALE: AS NOTED  
DRAWN BY: HE  
JOB: 025-041-210  
SHEET: 1 OF 1

A3.1.1

ISSUED APPROVED BUILDING PERMIT  
FIRST FLOOR PLAN

1

SCALE

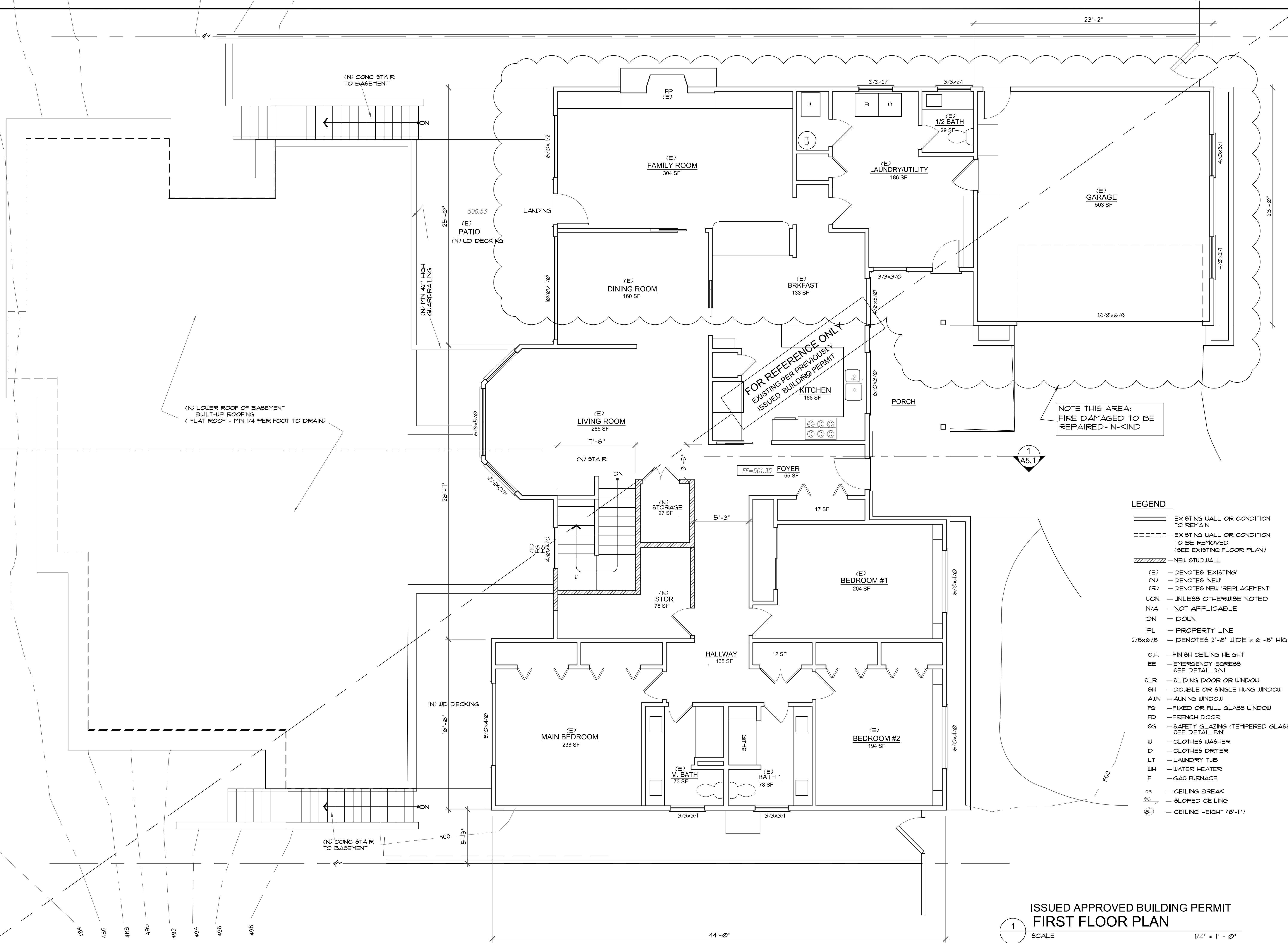
1/4" = 1' - 0"

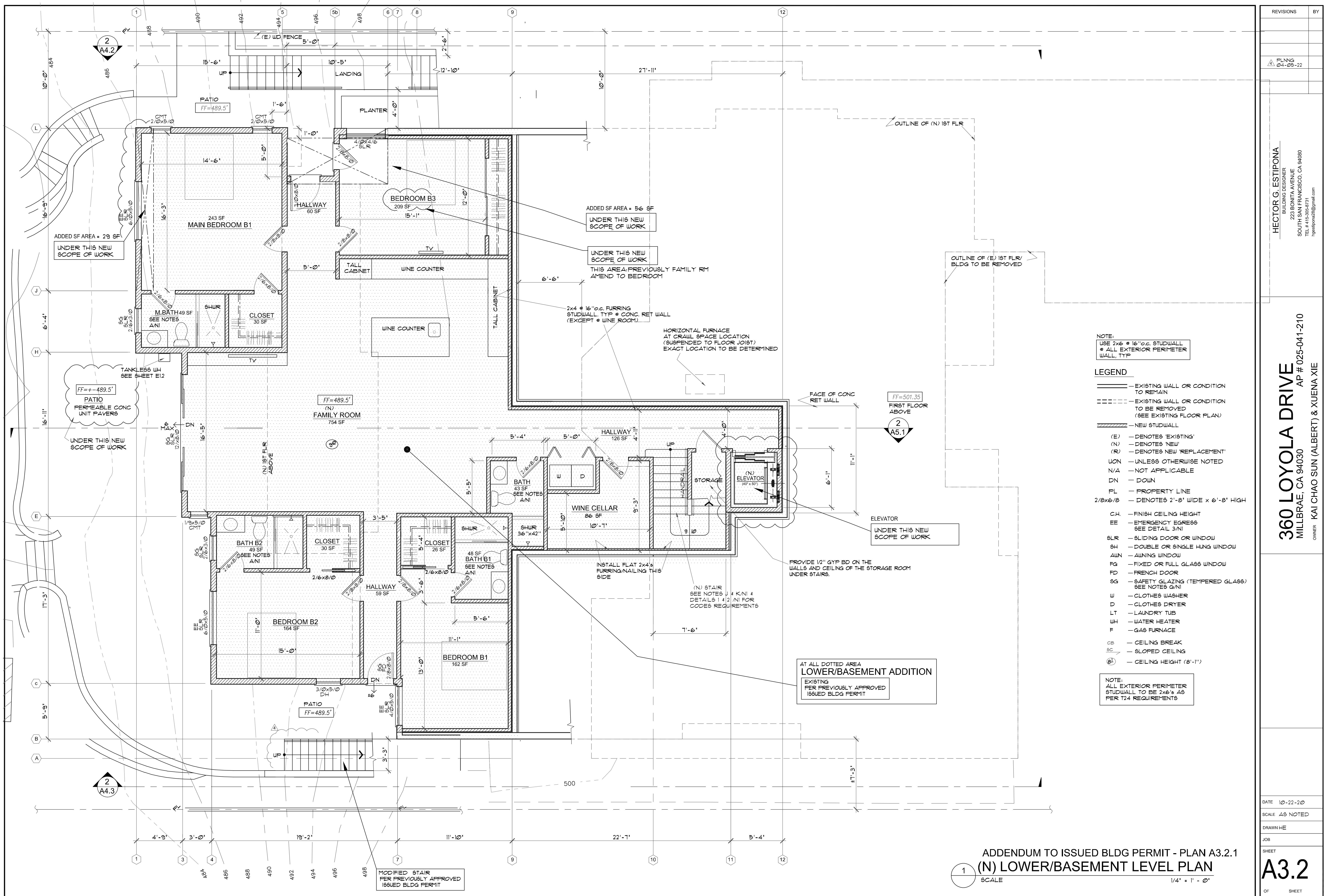
LEGEND

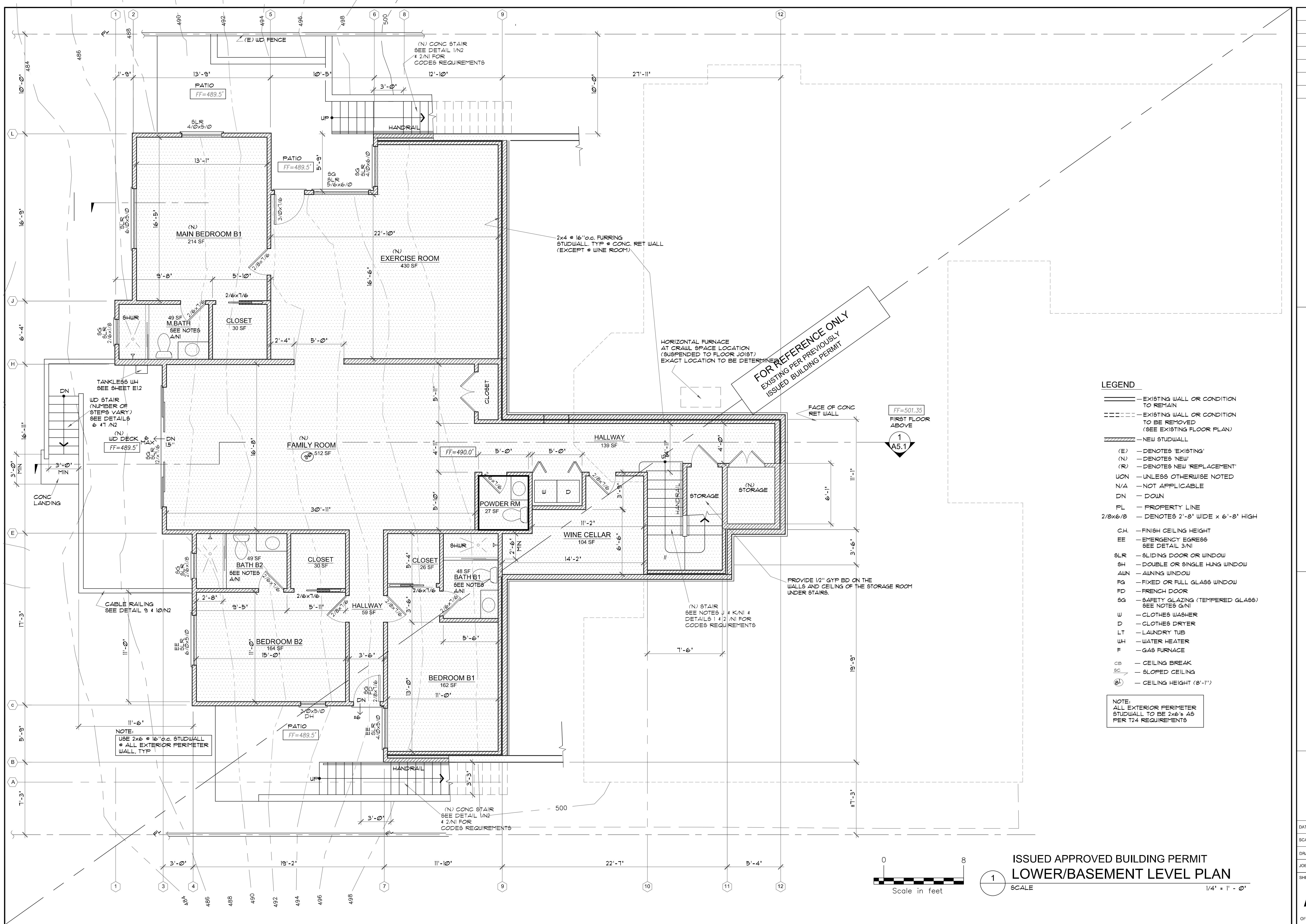
- EXISTING WALL OR CONDITION TO REMAIN
- EXISTING WALL OR CONDITION TO BE REMOVED (SEE EXISTING FLOOR PLAN)
- NEW STUDWALL
- (E) — DENOTES 'EXISTING'
- (N) — DENOTES 'NEW'
- (R) — DENOTES NEW REPLACEMENT
- UN — UNLESS OTHERWISE NOTED
- N/A — NOT APPLICABLE
- DN — DOWN
- PL — PROPERTY LINE
- 2'0x6'0" — DENOTES 2'-0" WIDE X 6'-0" HIGH
- C.H. — FINISH CEILING HEIGHT
- EE — EMERGENCY EGREGS  
SEE DETAIL 3/N
- SLR — SLIDING DOOR OR WINDOW
- SH — DOUBLE OR SINGLE HUNG WINDOW
- AUN — AWNING WINDOW
- FG — FIXED OR FULL GLASS WINDOW
- FD — FRENCH DOOR
- SG — SAFETY GLAZING (TEMPERED GLASS)  
SEE DETAIL F/N
- E — CLOTHES WASHER
- D — CLOTHES DRYER
- LT — LAUNDRY TUB
- WH — WATER HEATER
- F — GAS FURNACE
- CB — CEILING BREAK
- SC — SLOPED CEILING
- CH — CEILING HEIGHT (8'-1")

FOR REFERENCE ONLY  
EXISTING PER PREVIOUSLY  
ISSUED BUILDING PERMIT

NOTE THIS AREA:  
FIRE DAMAGED TO BE  
REPAIRED-IN-KIND







REVISIONS	BY

---

**HECTOR G. ESTIPONA**

BUILDING DESIGNER  
 223 BONITA AVENUE  
 SOUTH SAN FRANCISCO, CA 94080  
 TEL # 415-305-8731  
[hgestipona28@gmail.com](mailto:hgestipona28@gmail.com)

360 LOYOLA DRIVE  
MILLBRAE, CA 94030  
AP # 025-041-210  
OWNER KAI CHAO SUN (ALBERT) & XUENA XIE

10-22-20  
AS NOTED  
WN HE  
ET  
A3.2.1  
SHEET

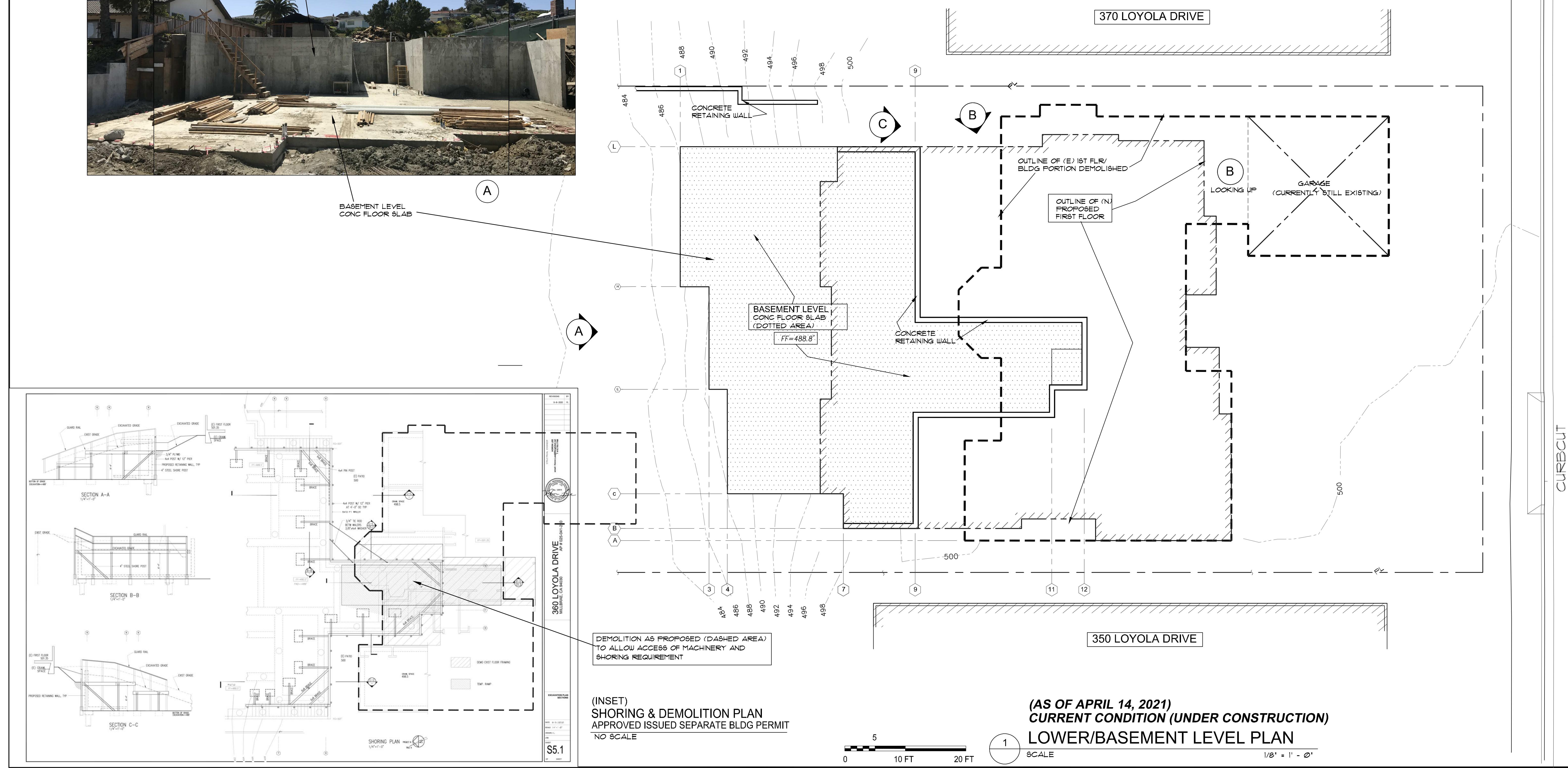
SHEET

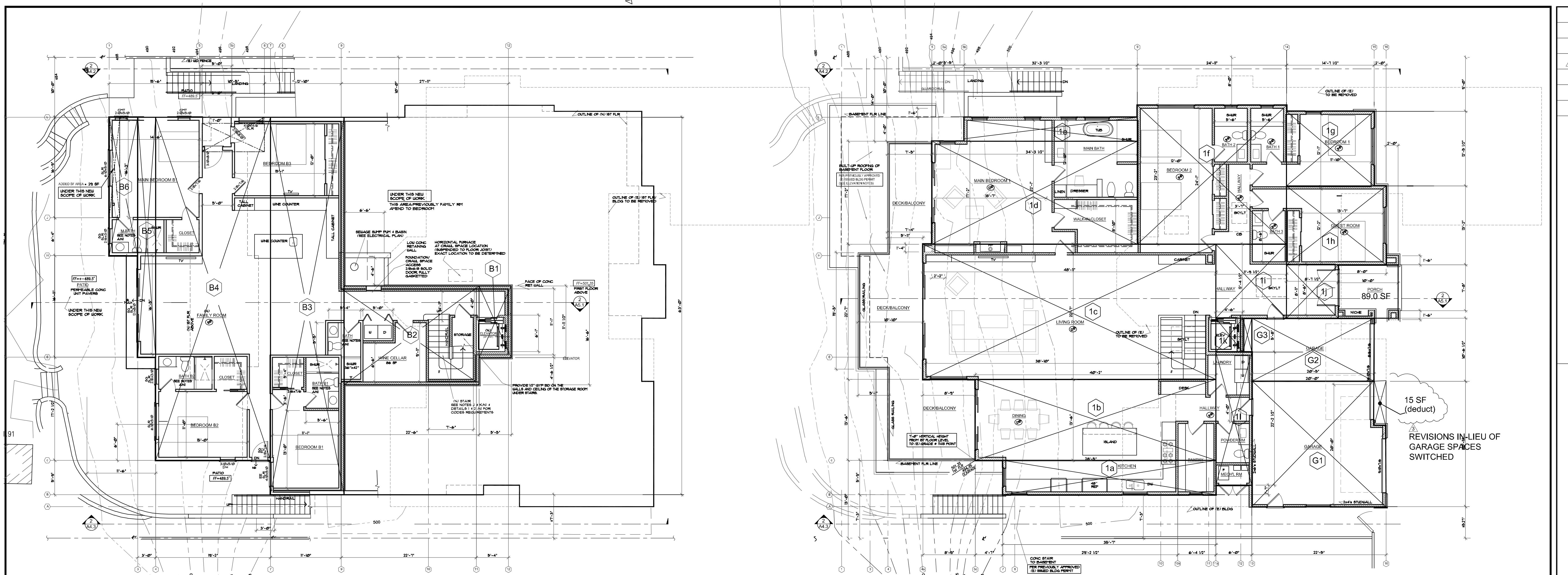


**HECTOR G. ESTIPONA**  
BUILDING DESIGNER  
223 BONITA AVENUE  
SOUTH SAN FRANCISCO, CA 94080  
TEL # 415-305-8731  
hgestipona20@gmail.com

**HECTOR G. ESTIPONA**  
BUILDING DESIGNER  
223 BONITA AVENUE  
SOUTH SAN FRANCISCO, CA 94080  
TEL # 415-305-8731  
gestipona28@gmail.com

**360 LOYOLA DRIVE**  
MILLBRAE, CA 94030      AP # 025-041-210  
OWNER KAI CHAO SUN (ALBERT) & XUENA XIE





LOWER/BASEMENT LEVEL PLAN  
SCALE 1/8" = 1' - 0"

note:  
(PER PREVIOUSLY APPROVED ISSUED BLDG PERMIT)  
CONSIDERED EXISTING CONDITION

#### EXISTING BASEMENT FLOOR

B1	5'-5" x 11'-11.5"	= 65.0 SF
B2	22'-6" x 16'-6"	= 371.0 SF
B3	12'-4" x 63'-0"	= 774.0 SF
B4	19'-2" x 57'-3"	= 1,097.0 SF
B5	3'-0" x 40'-0"	= 120.0 SF
B6	4'-9" x 23'-1"	= 110.0 SF
TOTAL FLOOR AREA		= 2,537 SF

2,537 SF  
+ 4,623 SF  
TOTAL FLOOR AREA (BASEMENT & FIRST FLOORS) = 7,160 SF

(N) FIRST FLOOR PLAN  
SCALE 1/8" = 1' - 0"

#### PROPOSED FIRST FLOOR

1a	35'-7" x 5'-9"	= 205.0 SF
1b	40'-2" x 13'-6"	= 542.0 SF
1c	48'-11" x 22'-7"	= 1,105.0 SF
1d	34'-3.5" x 17'-2"	= 589.0 SF
1e	32'-3.5" x 4'-0"	= 129.0 SF
1f	24'-11" x 23'-2"	= 577.0 SF
1g	14'-7.5" x 12'-5.5"	= 182.0 SF
1h	16'-7.5" x 13'-2"	= 219.0 SF
1i	11'-9.5" x 12'-4.5"	= 146.0 SF
1j	8'-7.5" x 8'-11"	= 77.0 SF
1k	4'-6" x 5'-8"	= 26.0 SF
1l	6'-0" x 22'-2.5"	= 133.0 SF

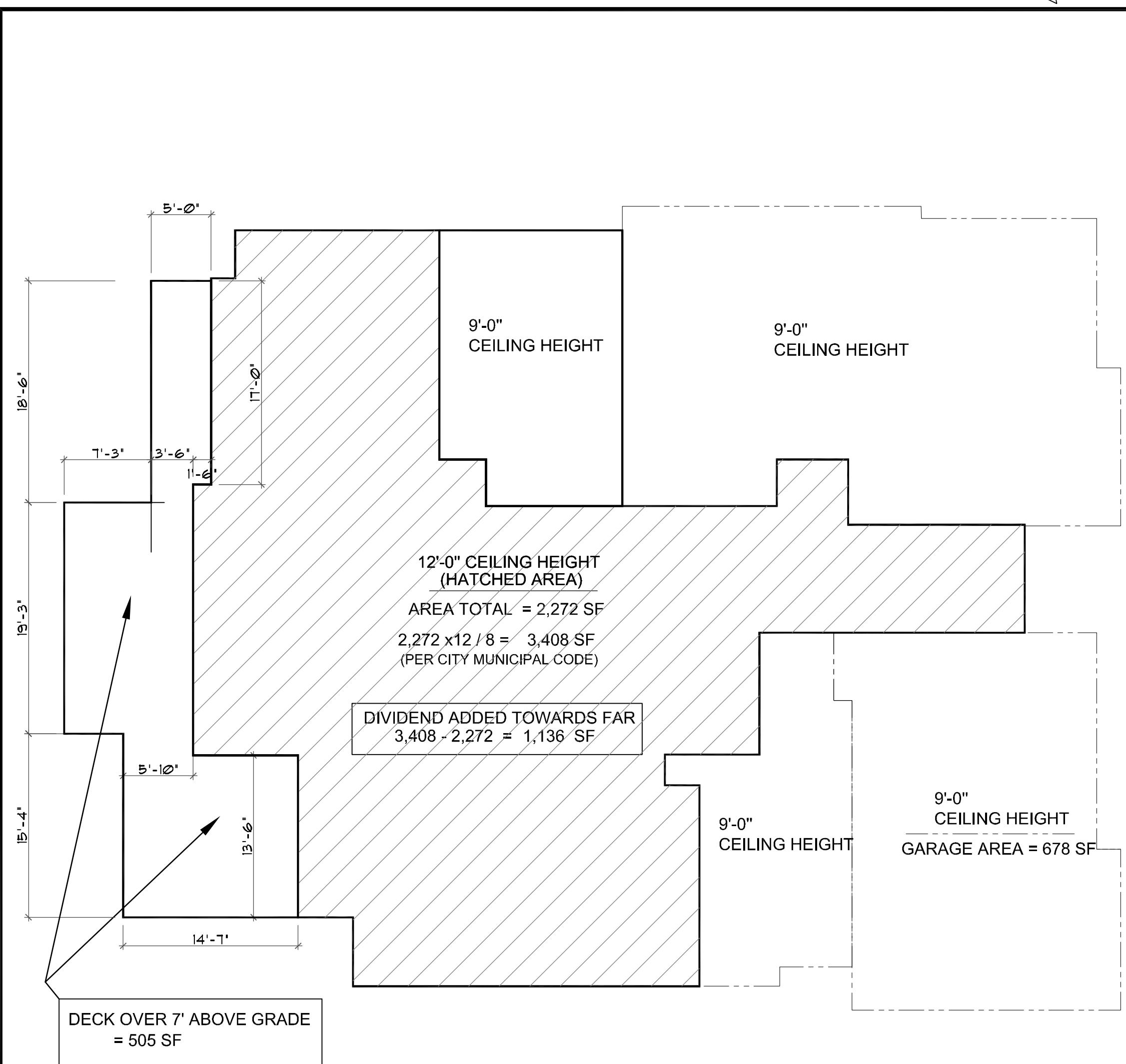
3,930.0 SF  
454.0 SF  
215.0 SF  
9.0 SF  
678.0 SF  
TOTAL FLOOR AREA = 4,608 SF

360 LLOYOLA DRIVE  
MILLBRAE, CA 94030  
AP # 025-041-210

REVISIONS BY  
PLNNG 02-14-22  
HECTOR G. ESTIPONA  
BUILDING DESIGNER  
223 BONITA AVENUE  
SOUTH SAN FRANCISCO, CA 94080  
TEL # 415-303-8731  
hgestipona28@gmail.com

OWNER

DATE 10-22-20  
SCALE AS NOTED  
DRAWN HE  
JOB  
SHEET  
SF1.1  
OF SHEET

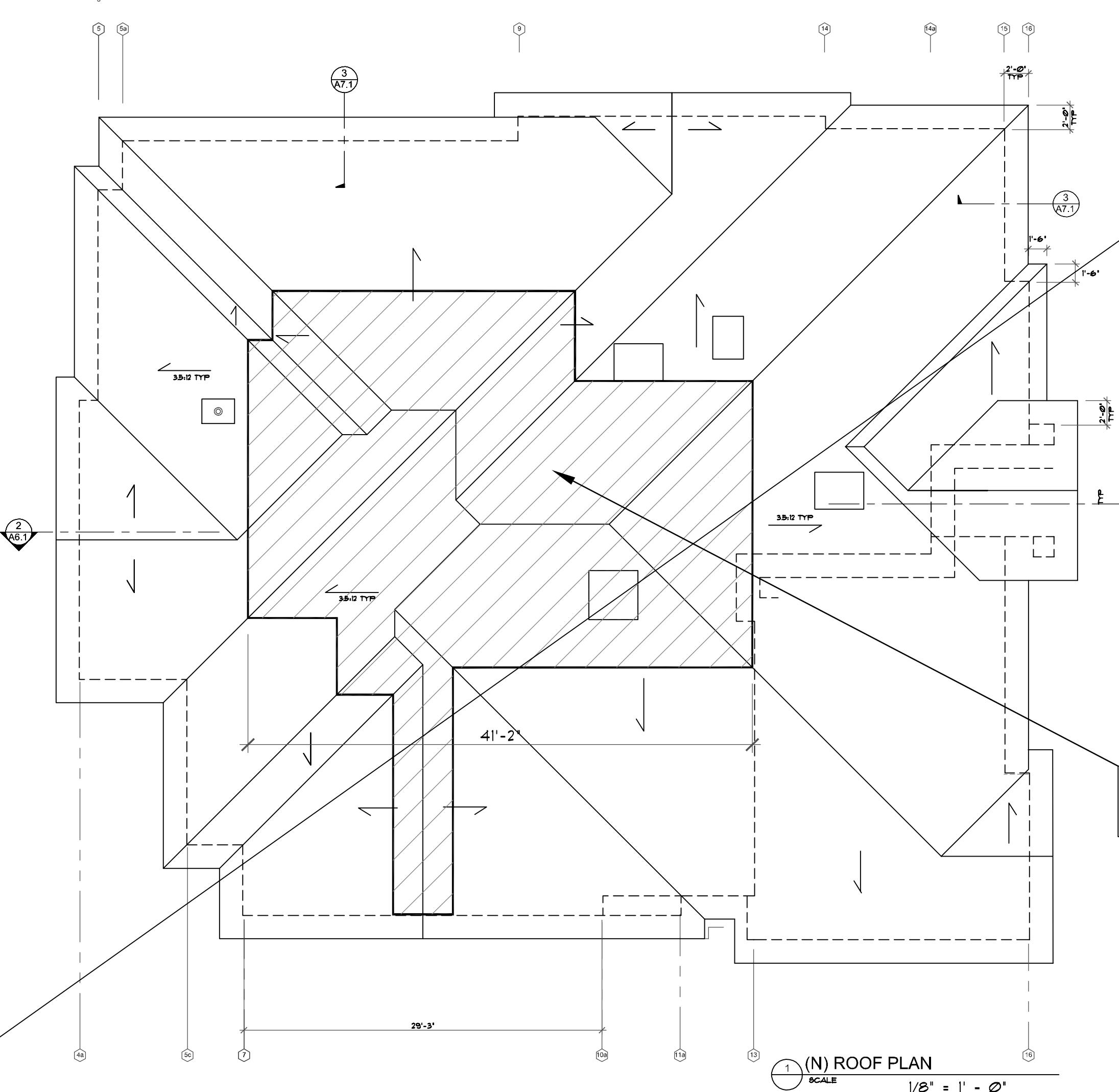


NOTE :  
THIS CALCULATIONS SHEET FIGURES ENTERED PER THE  
RESIDENTIAL DESIGN REVIEW WORKSHEET DUE TO THE  
SPECIAL FORMULAS USED.

A- CEILING HEIGHT OVER 9'-0"  
B- DECK OVER 7'-0" GRADE  
C- ATTIC FLOOR AREAS UNDER ROOF w/ CEILING HEIGHT  
GREATER THAN 5'-0"

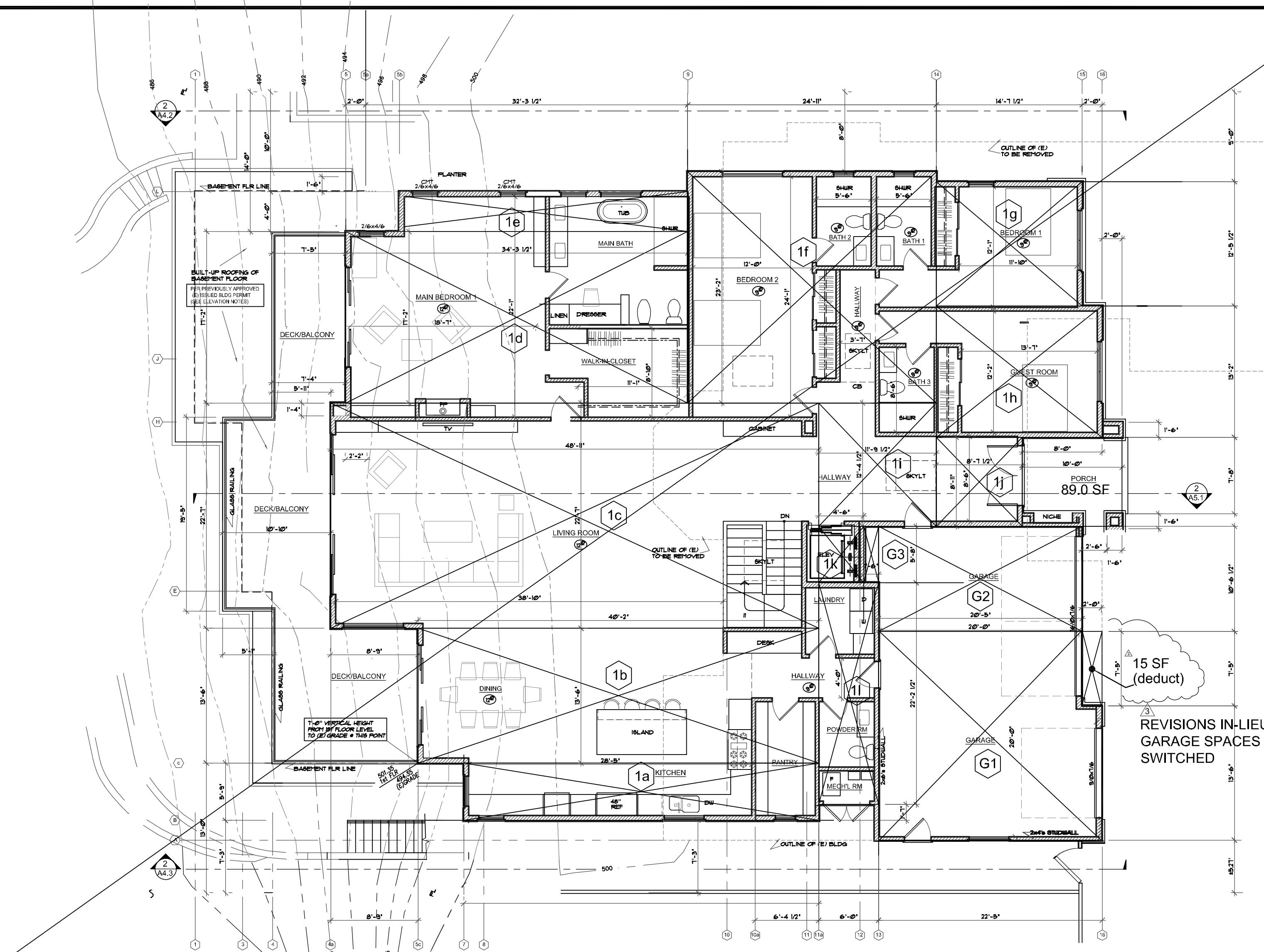
(HATCHED AREA)  
ATTIC FLR AREAS UNDER ROOF  
w/ CEILING HT > 5'-0"  
= 1,229 SF

SEE BUILDING SECTION 2/A5.1



(1) (N) ROOF PLAN

1/8" = 1' - 0"



(1) (N) FIRST FLOOR PLAN

SCALE

1/8" = 1' - 0"

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

1

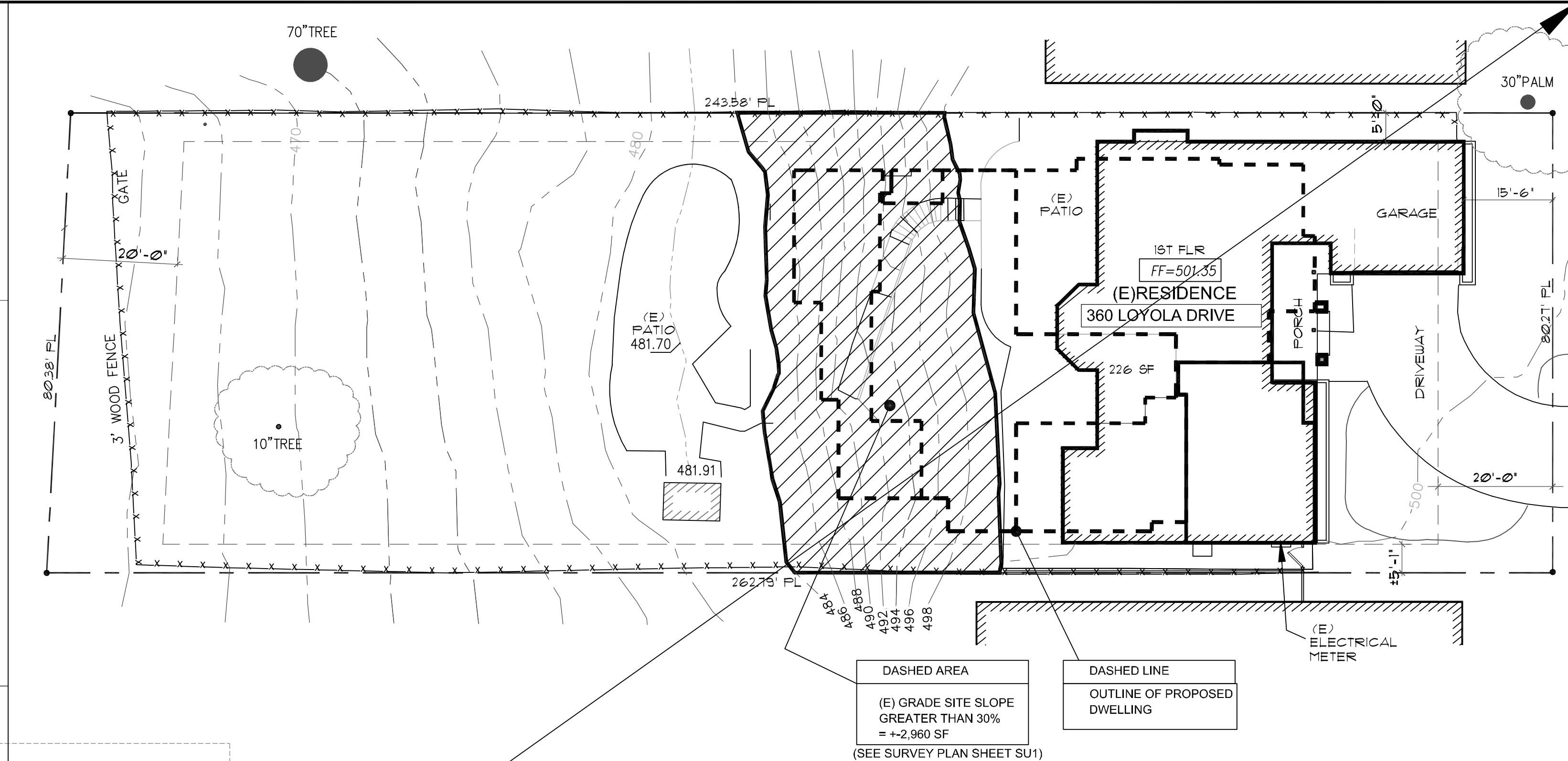
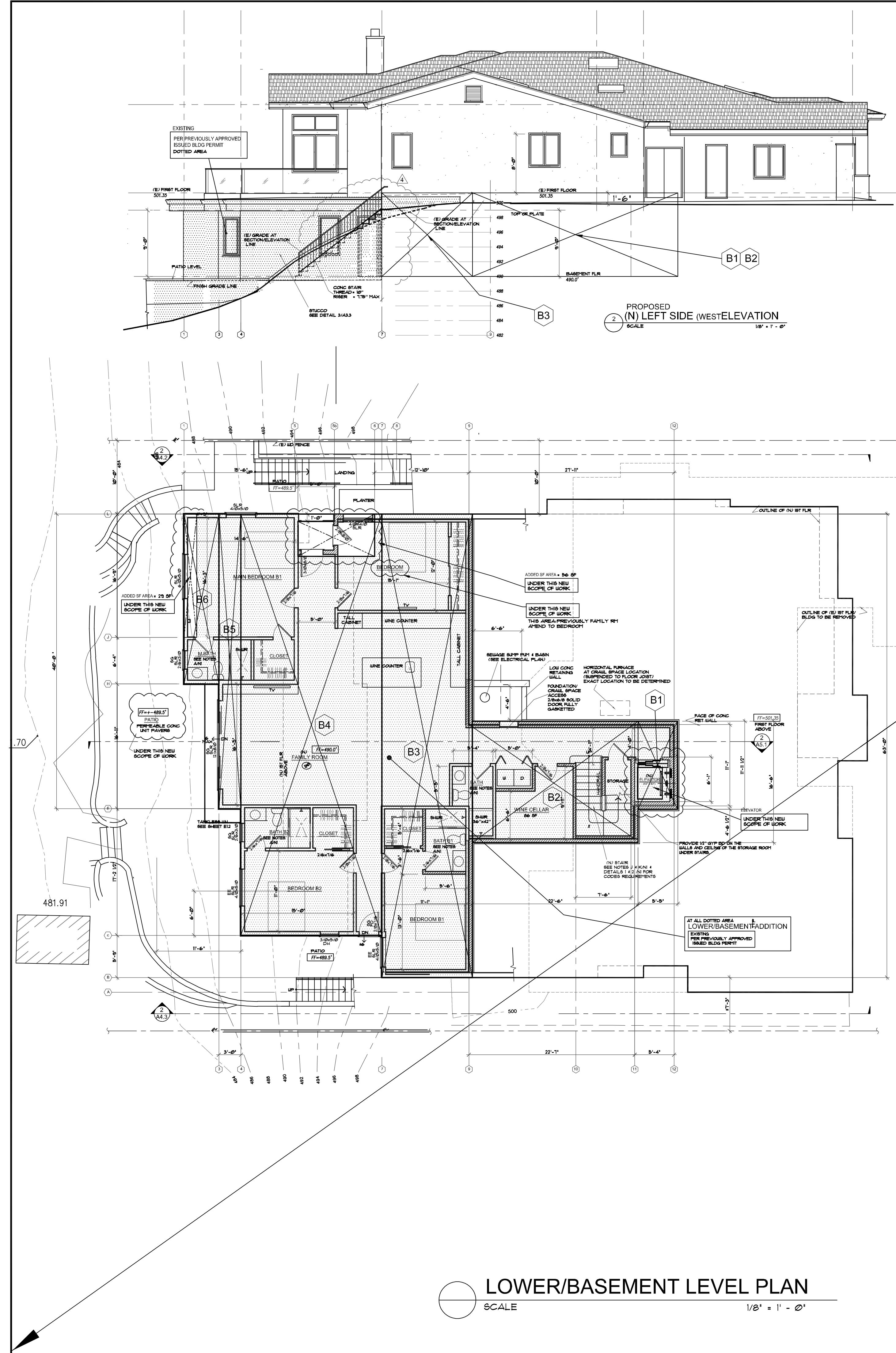
1

1

1

1

1



REVISIONS BY  
PLNNG 04-05-22

**HECTOR G. ESTIPONA**  
BUILDING DESIGNER  
223 BONITA AVENUE  
SOUTH SAN FRANCISCO, CA 94080  
TEL #415-303-8731  
hgestipona28@gmail.com

**360 LOYOLA DRIVE** AP #025-041-210  
MILLBRAE, CA 94030  
OWNER KAI CHAO SUN (ALBERT) & XUENA XIE

DATE 10-22-20  
SCALE AS NOTED  
DRAWN HE  
JOB  
SHEET  
**SF1.3**

360 LOYOLA DRIVE AP # 025-041-210  
 MILLBRAE, CA 94030 OWNER KAI CHAO SUN (ALBERT) & XUENA XIE

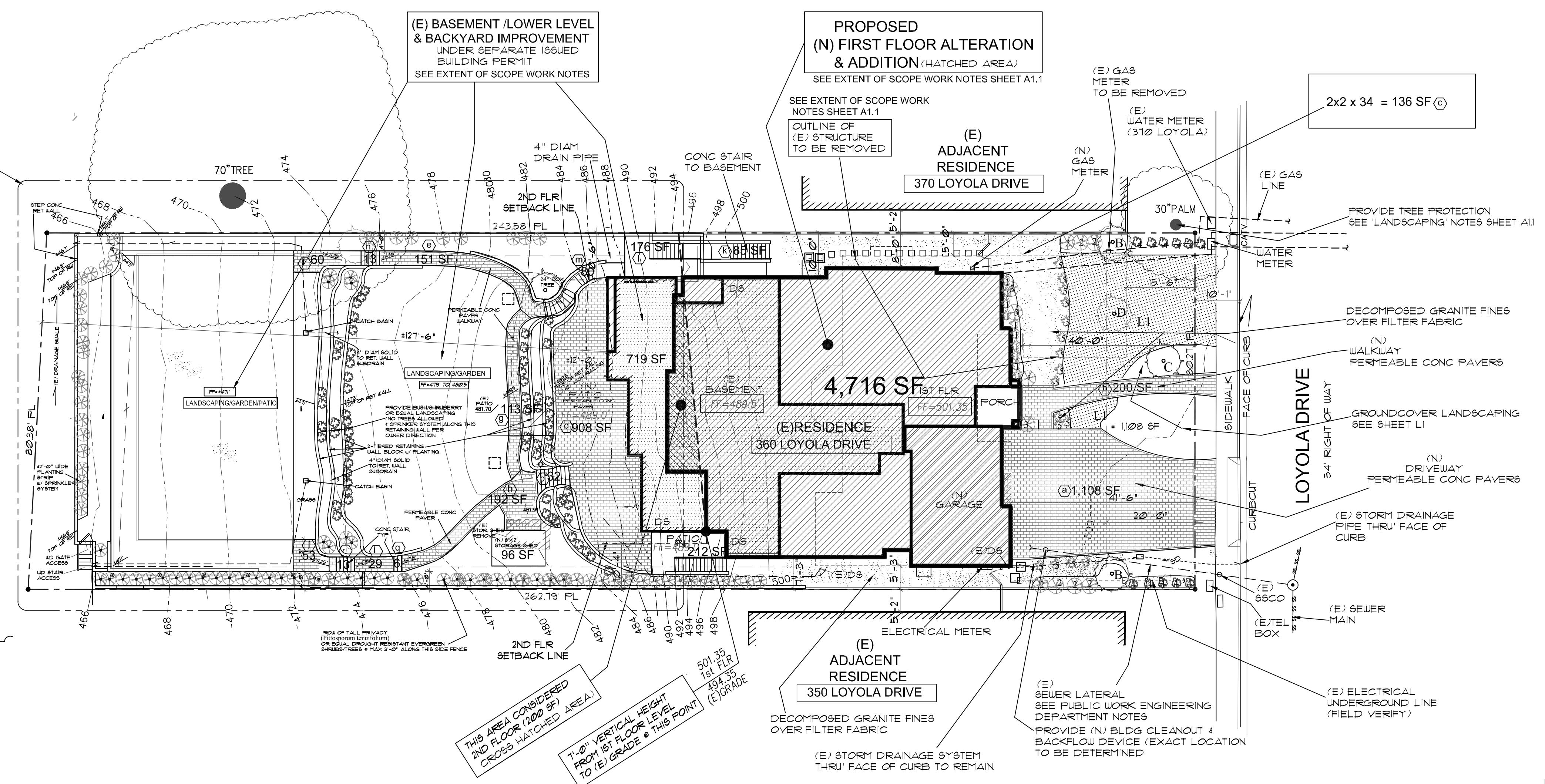
SF1.4

DATE 6-23-21  
 SCALE AS NOTED  
 DRAWN HE  
 JOB  
 SHEET  
 OF SHEET

EXISTING	ROOF IMPERVIOUS AREA	3,432 SF	3,496 SF
FLAT IMPERVIOUS AREA (SIDEWALKS/DRIVeway) ETC	930 SF 51 SF 287 SF 185 SF 939 SF 276 SF 879 SF	3,547 SF	7,043 SF
PERVIOUS (PERMEABLE) (LANDSCAPE, UNDISTURB NATURE)	13,881 SF		
(SITE AREA) TOTAL	20,924 SF		

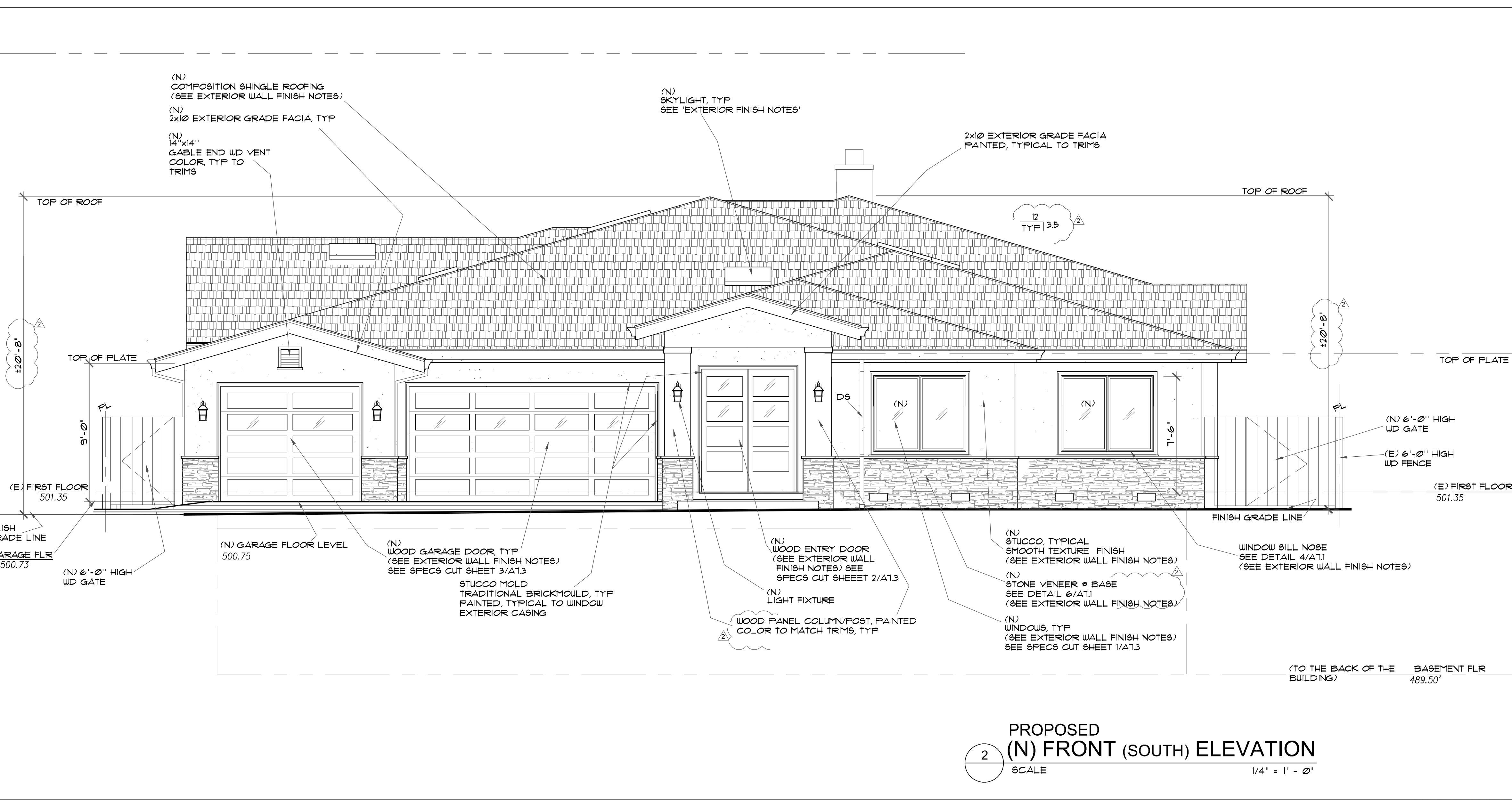
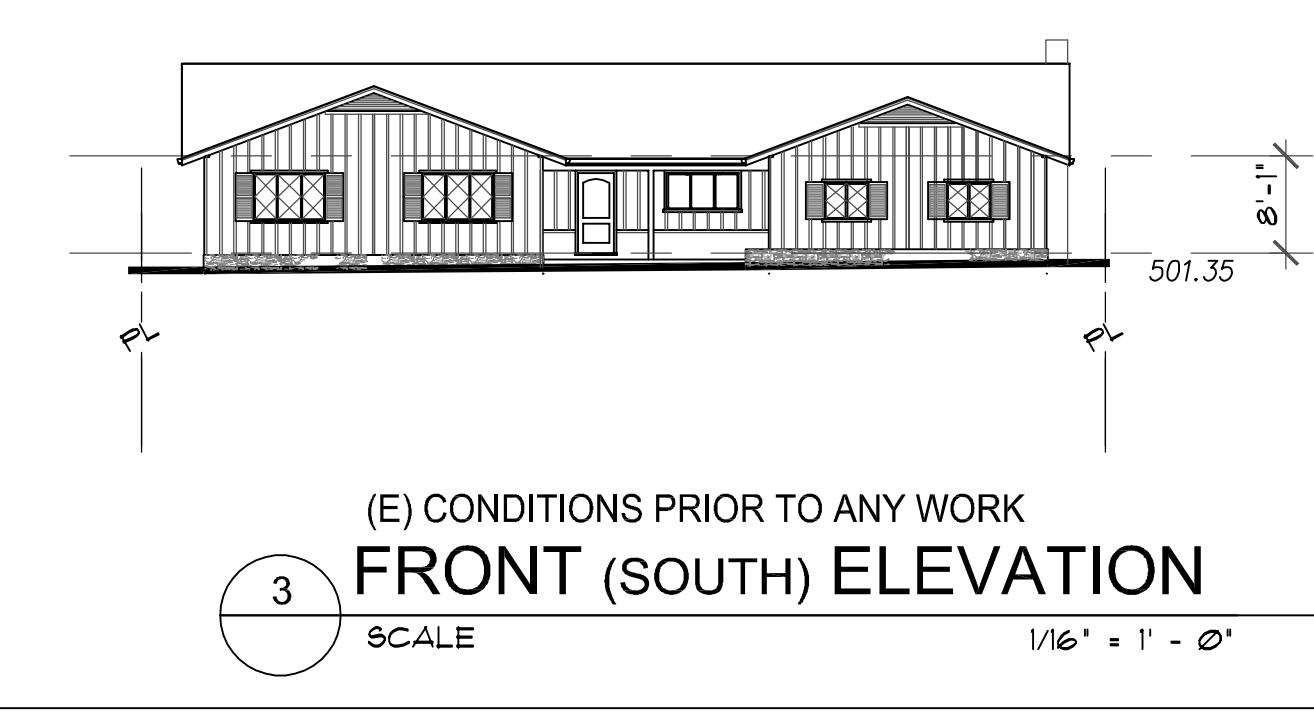
IMPERVIOUS / PVIOUS AREA CALCS  
 (E) PLAN

SCALE 1/16" = 1' - 0"



IMPERVIOUS / PVIOUS AREA CALCS  
 (N) PLAN

SCALE 1/16" = 1' - 0"



EXTERIOR FINISHES (TYPICAL TO ALL NEW ELEVATIONS)  
 (SEE ALSO MATERIAL BOARD ATTACHMENT)

ROOFING  
 COMPOSITION SHINGLES ROOFING 'CERTAINTEED'  
 GRAND MANOR SERIES, BLACK PEARL OR AS PER OWNER  
 SELECTION

EXTERIOR WALL FINISH  
 - CEMENT PLASTER (STUCCO) SMOOTH TEXTURE FINISH, PAINTED TYP  
 COLOR: VERANDA HILLS 'KELLY MOORE' PAINT  
 2. STONE VENEER AT BASE FAÇADE ONLY AND SIDE RETURN  
 K2 STONE' PACIFIC ASHLAR VENEER OR EQUAL AS  
 PER OWNER SELECTION - SEE DETAIL 6/A1.1

WINDOWS & SLIDING DOORS  
 JELD-WEN OR ANDERSON ALUM CLAD-WOOD w/ TRADITIONAL  
 WOOD BRICKMOULD EXTERIOR CASING/TRIM (BY MANUFACTURER),  
 PAINTED TYP  
 TO BE INSTALLED RECESSED w/ FINLESS WINDOW/DOOR UNIT  
 SEE DETAIL 2/A1.1 & 4/A1.1

ENTRY DOOR  
 WOOD DOOR STAINED w/ NATURAL WOOD COLOR  
 w/ WINDOW GLAZING ON TWO TOP PANELS  
 SEE SPECIFICATION CUT SHEET 2/A1.3

PROVIDE TRADITIONAL WOOD BRICKMOULD EXTERIOR CASING/TRIM,  
 PAINTED  
 COLOR: EAGLE'S MEADOW 'KELLY MOORE' PAINT

GARAGE DOORS  
 TRADITIONAL WOOD 'SERIES' GARAGE DOORS  
 BY 'OVERHEAD DOOR' OR EQUAL, PAINTED  
 w/ WINDOW GLAZING ON AND LOWER TOP PANEL  
 ON BOTH GARAGE DOORS  
 COLOR: VERANDA HILLS KELLY MOORE PAINT  
 SEE SPECIFICATION CUT SHEET 3/A1.3

PROVIDE TRADITIONAL WOOD BRICKMOULD EXTERIOR CASING/TRIM,  
 PAINTED  
 COLOR: EAGLE'S MEADOW 'KELLY MOORE' PAINT

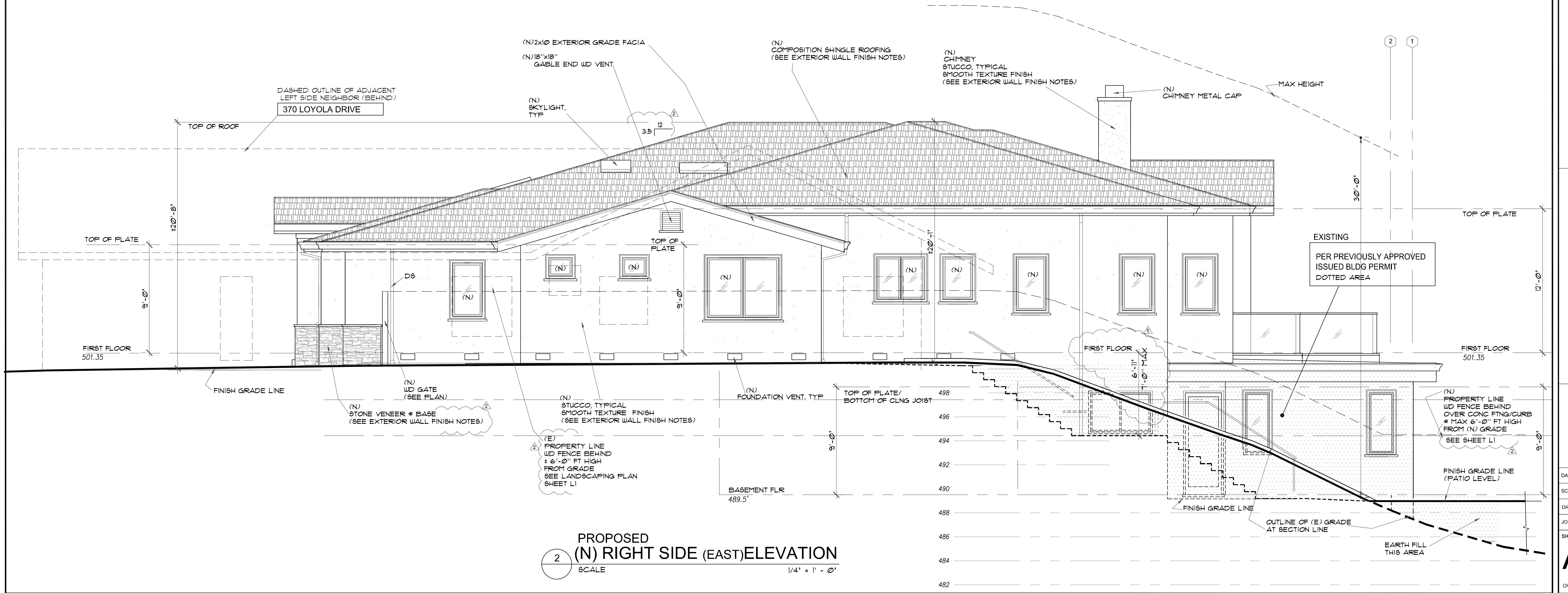
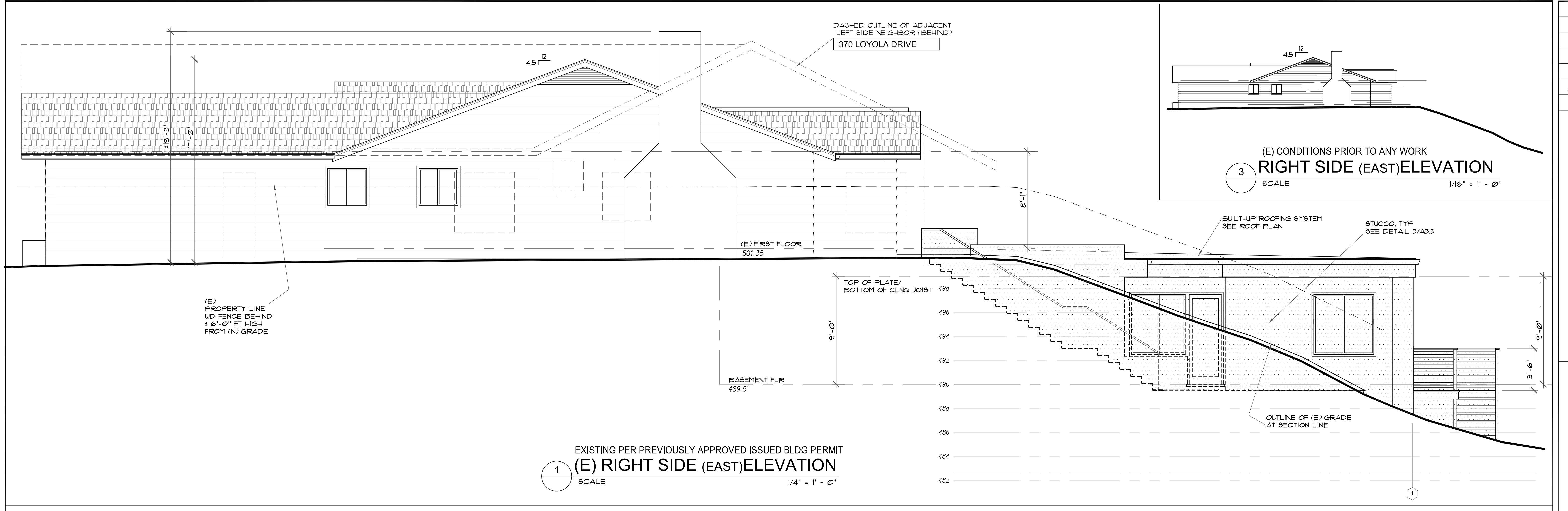
GUTTER & DOWNSPOUTS  
 STANDARD ALUMINUM PRE-PAINTED FINISHED  
 GUTTER & STANDARD SQUARE / RECTANGULAR  
 DOWNSPOUT, DARK COLOR  
 COLOR: CARBON 'KELLY MOORE' PAINT

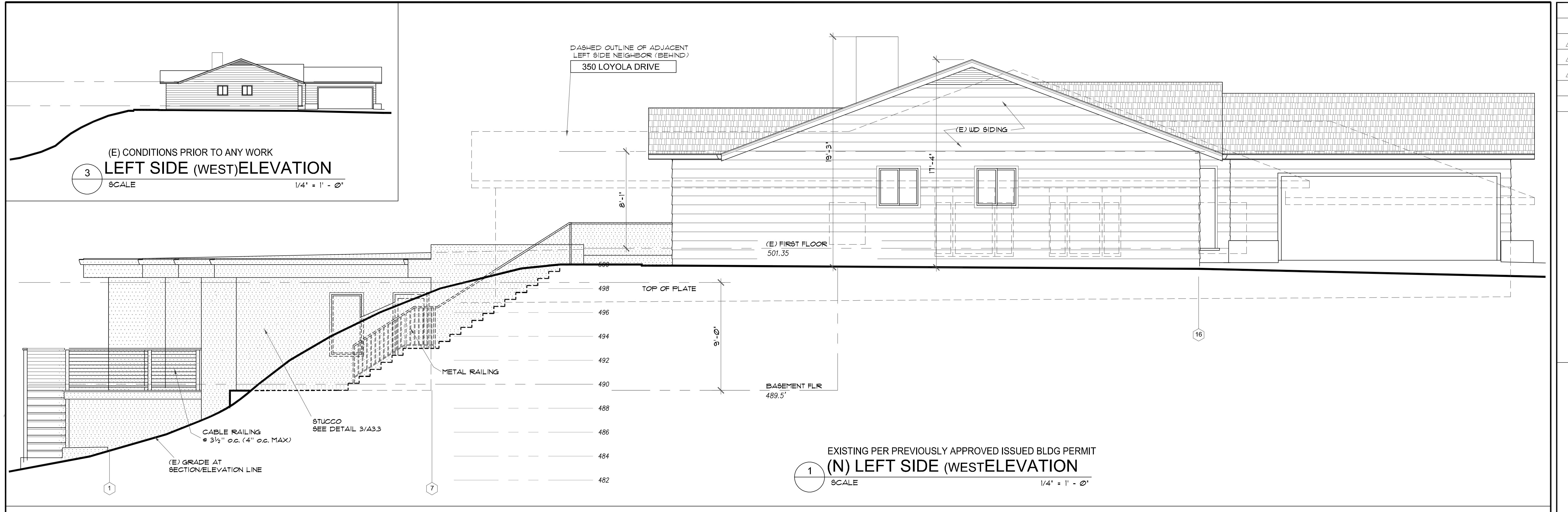
EAVES  
 SOFFIT UNDER EAVES, SEE TYP DETAIL 3/A1.1  
 COLOR: EAGLE'S MEADOW 'KELLY MOORE' PAINT

FACIA  
 EXTERIOR GRADE FACIA TYPICAL  
 SEE TYP DETAIL 3/A1.1  
 COLOR: EAGLE'S MEADOW 'KELLY MOORE' PAINT

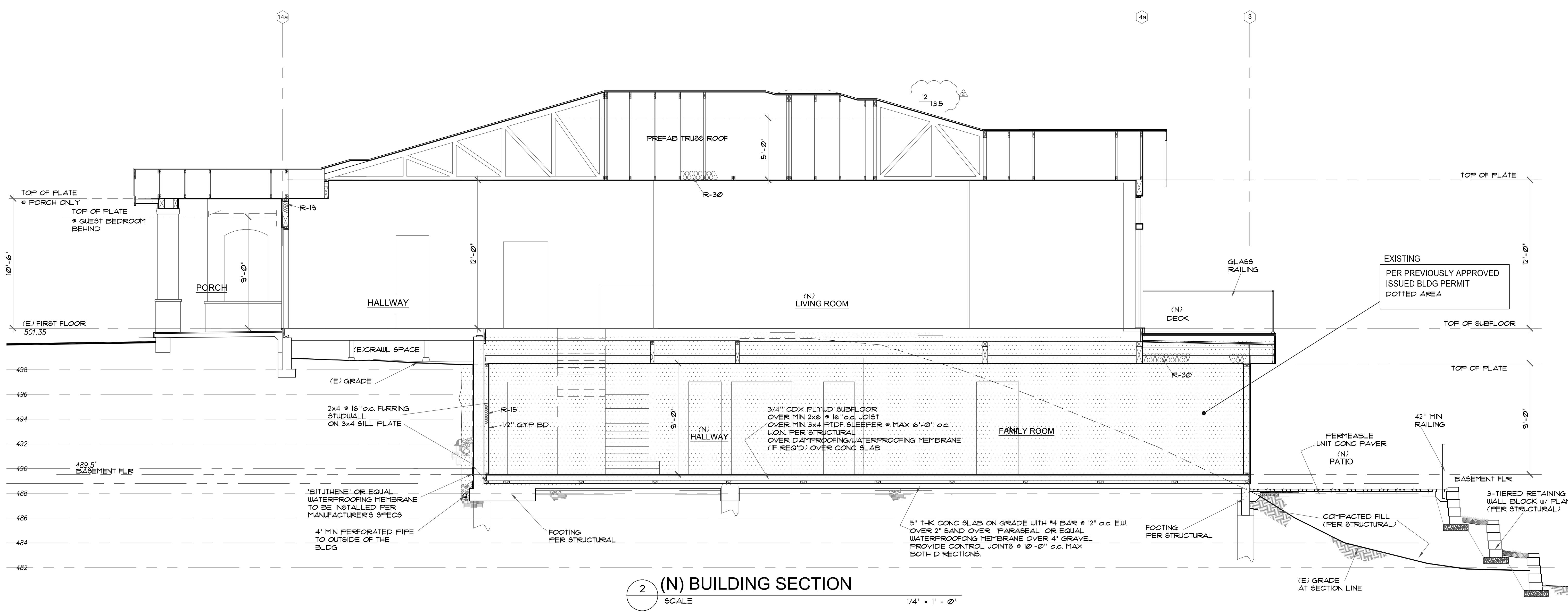
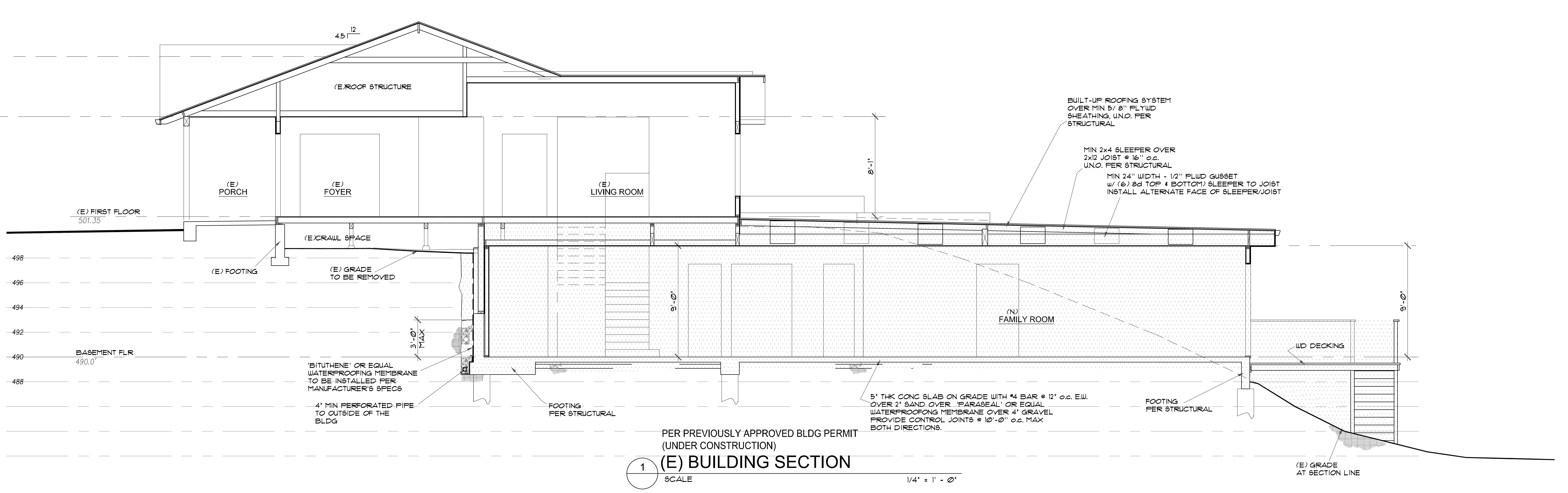
BALCONY GUARDRAILING  
 GLASS RAILING SEE NOTES AND DETAILS

SKYLIGHTS  
 'VELUX' DECK MOUNTED FS SERIES ANODIZED ALUMINUM  
 SKYLIGHTS, & 'VELUX' SUNTUNNEL SKYLIGHTS - WHERE OCCURS  
 SEE TYPICAL DETAIL 5/A1.1



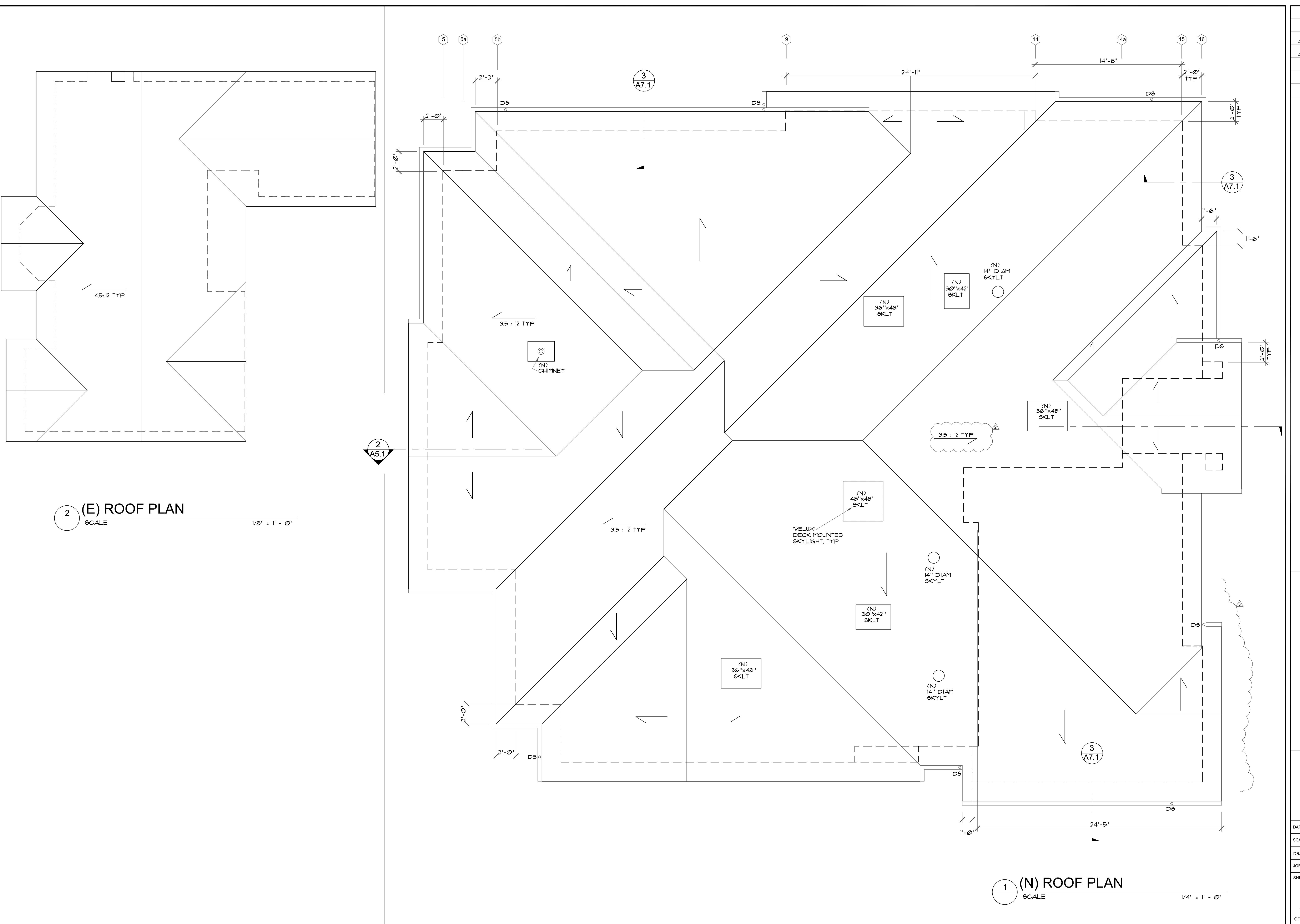


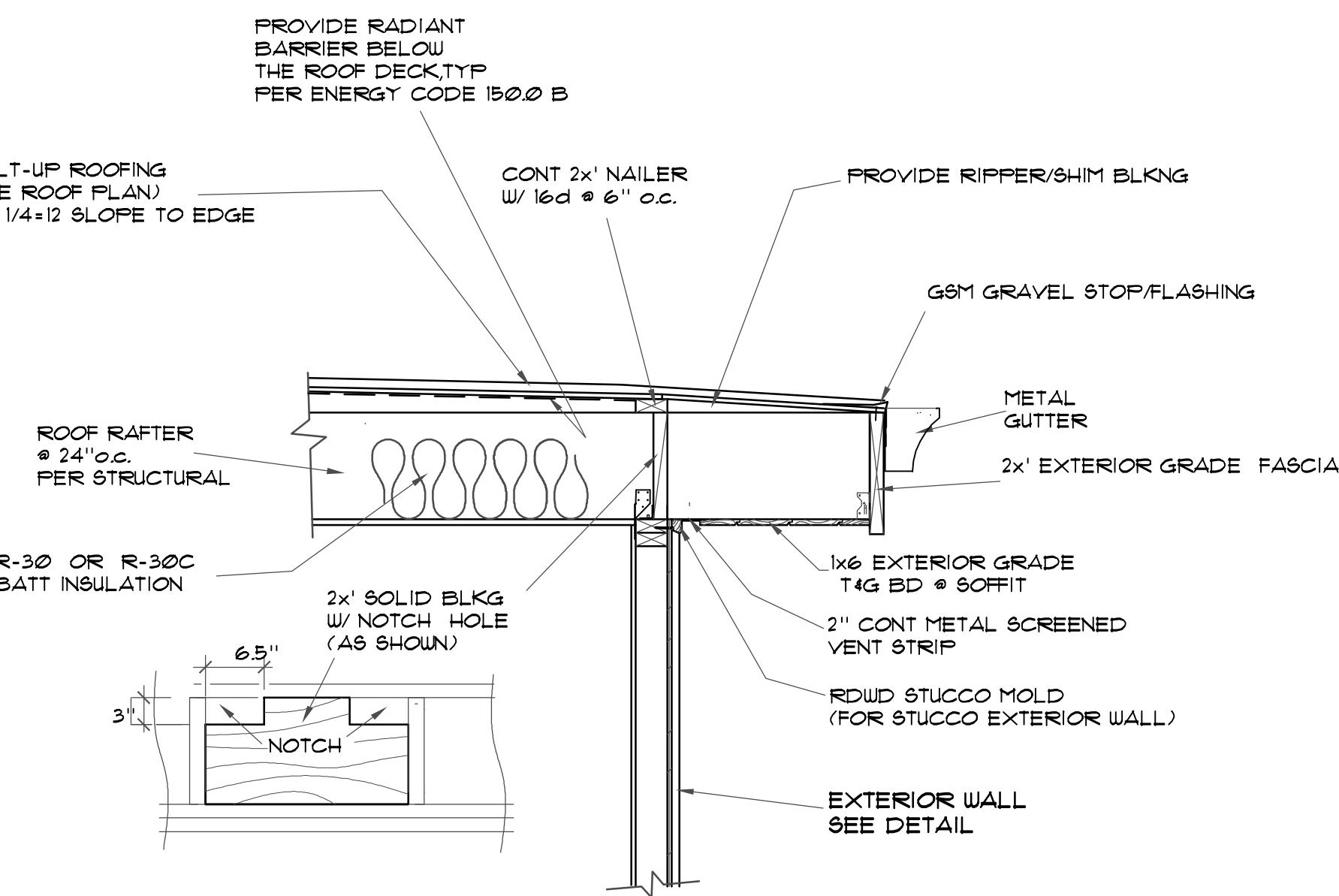




REVISIONS BY  
 PLNNG 01-01-22  
 PLNNG 02-14-22  
 HECTOR G. ESTIPONA  
 BUILDING DESIGNER  
 SOUTH SAN FRANCISCO, CA 94080  
 TEL # 415-303-8731  
 hestipona28@gmail.com

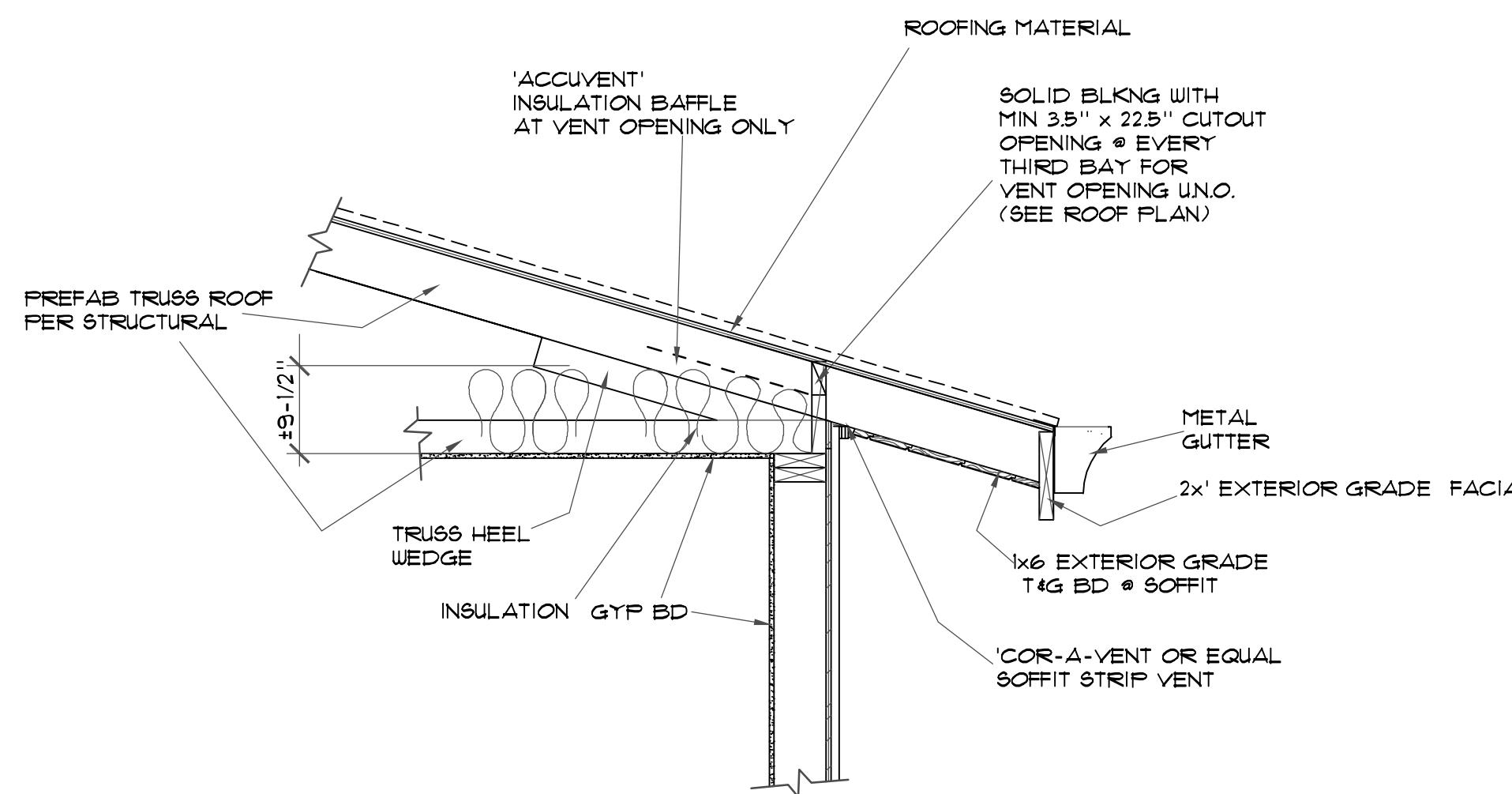
360 LOYOLA DRIVE AP # 025-041-210  
 MILLBRAE, CA 94030  
 OWNER: KAI CHAO SUN (ALBERT) & XUENA XIE





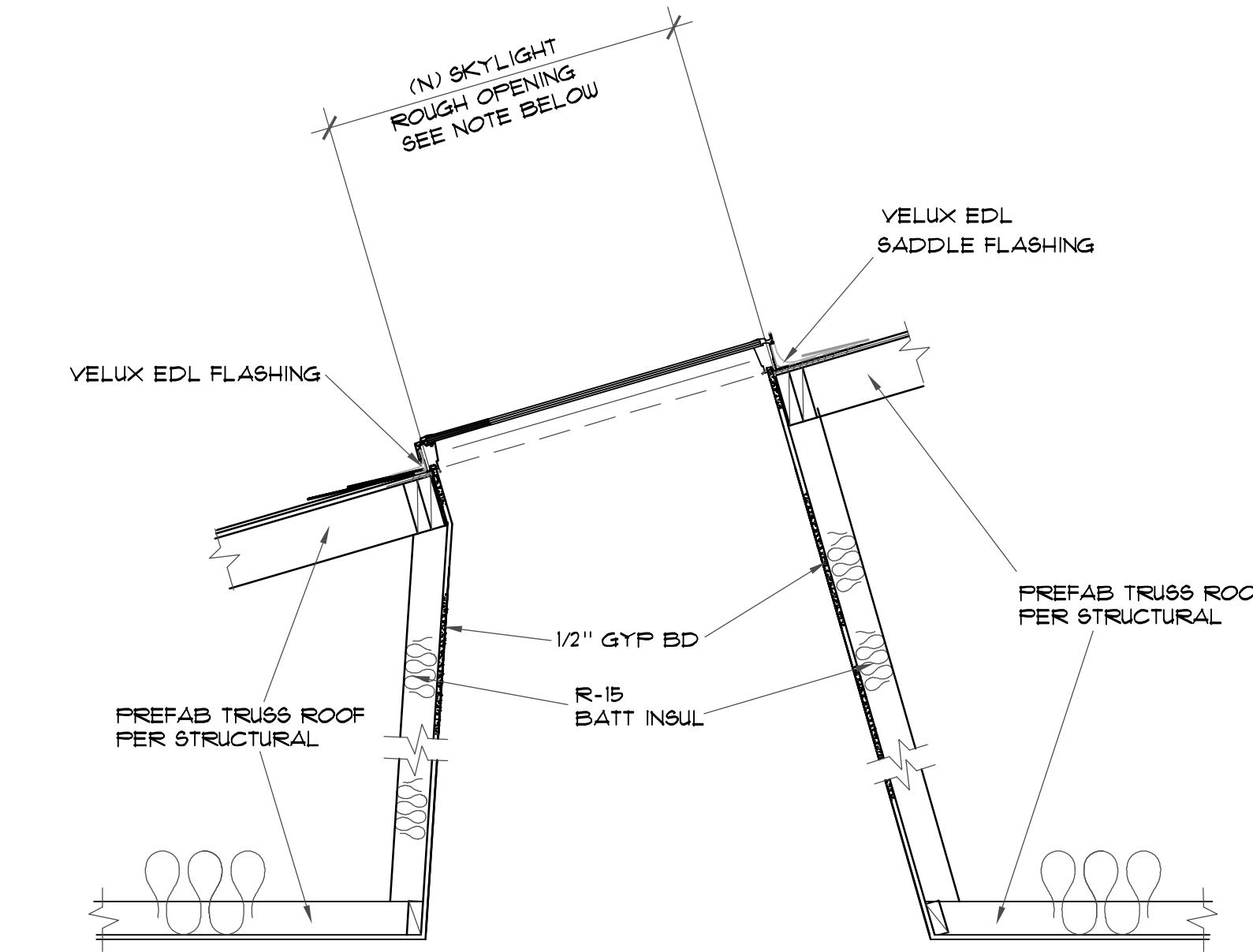
1 EAVE DETAIL

SCALE 3/4" = 1' - 0"



3 EAVE DETAIL

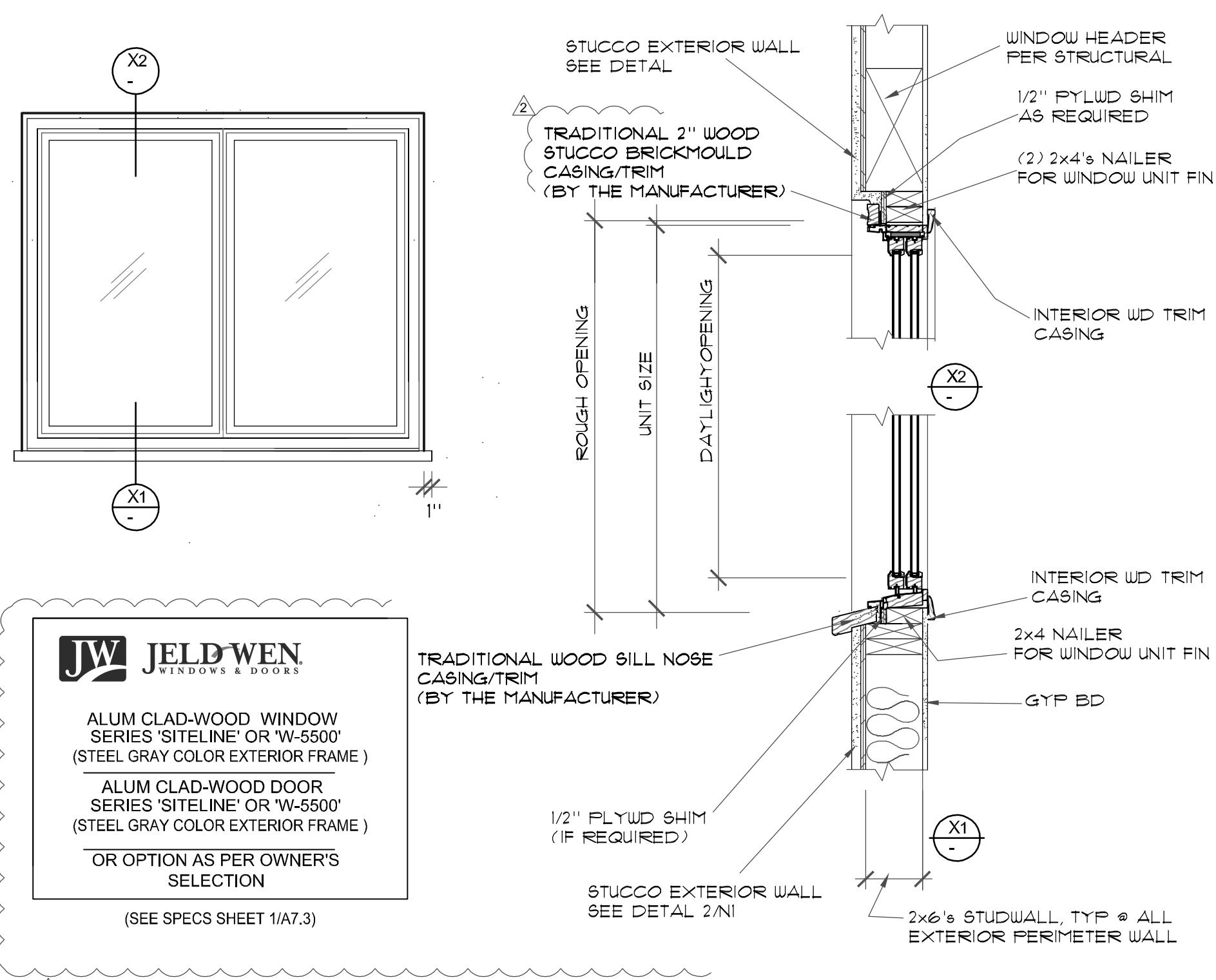
SCALE 3/4" = 1' - 0"



NOTE:  
(N) SKYLIGHTS DECK MOUNTED  
VELUX FG (FIXED) OR  
VS/VS OPERATIONAL SKYLIGHT OR EQUAL  
INSTALL AS PER SKYLIGHT SPECS  
AND RECOMMENDATIONS

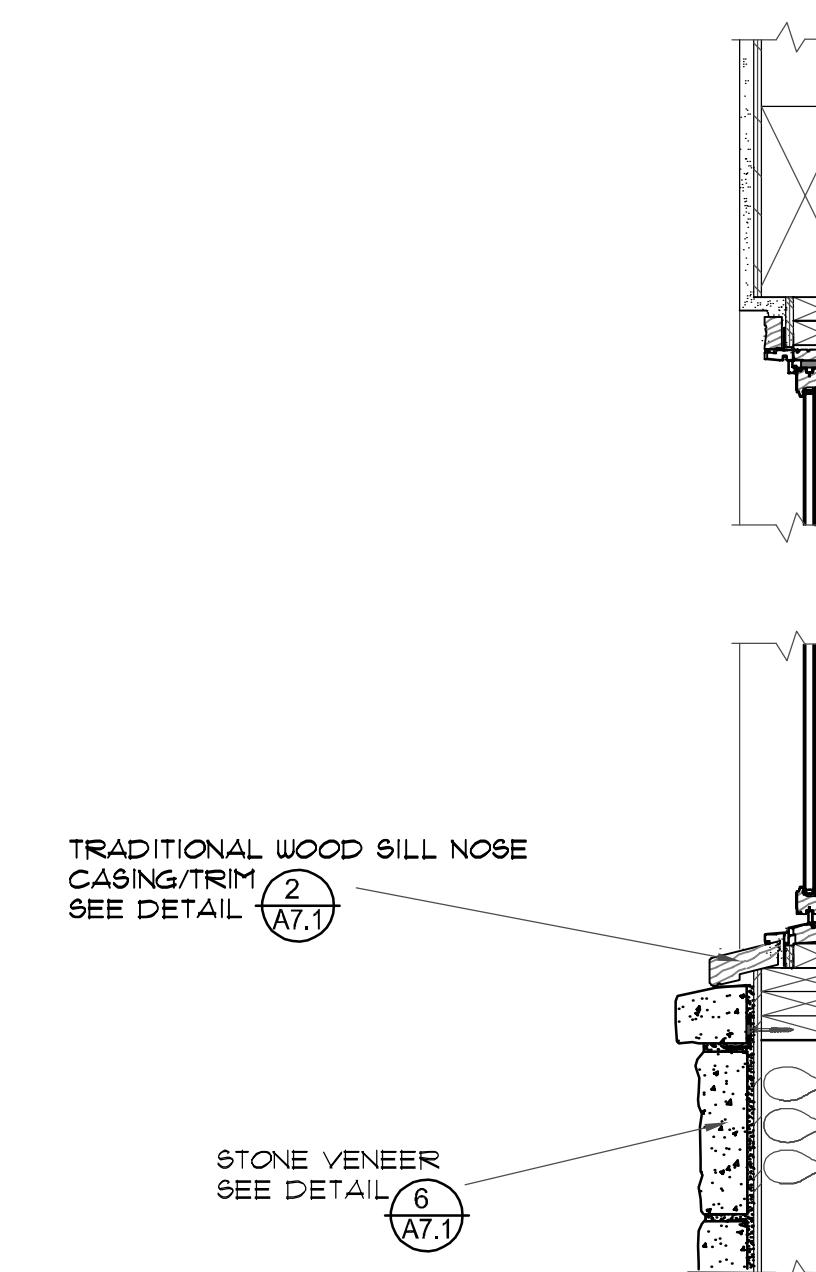
5 SKYLIGHT DETAIL

SCALE 3/4" = 1' - 0"



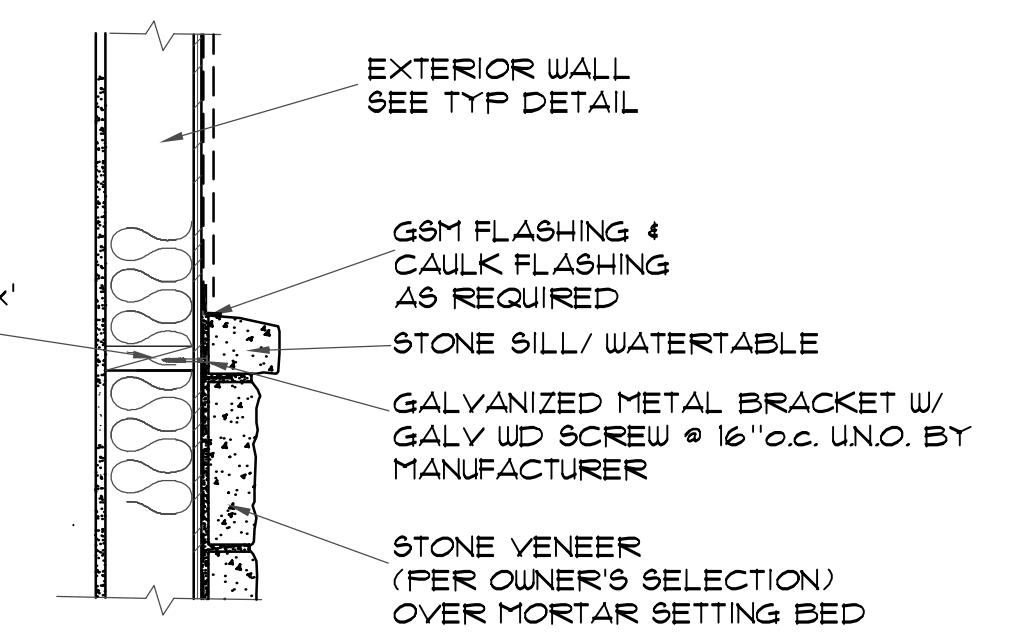
**JW JELD-WEN**  
ALUM CLAD-WOOD WINDOW SERIES 'SITELINE' OR 'W-550' (STEEL GRAY COLOR EXTERIOR FRAME)  
ALUM CLAD-WOOD DOOR SERIES 'SITELINE' OR 'W-550' (STEEL GRAY COLOR EXTERIOR FRAME)  
OR OPTION AS PER OWNER'S SELECTION  
(SEE SPECS SHEET 1/A7.3)

TRADITIONAL WOOD SILL NOSE CASING/TRIM (BY THE MANUFACTURER)  
1/2" PLYWD SHIM (IF REQUIRED)  
STUCCO EXTERIOR WALL SEE DETAIL 2/N1  
2x6's STUDWALL, TYP @ ALL EXTERIOR PERIMETER WALL

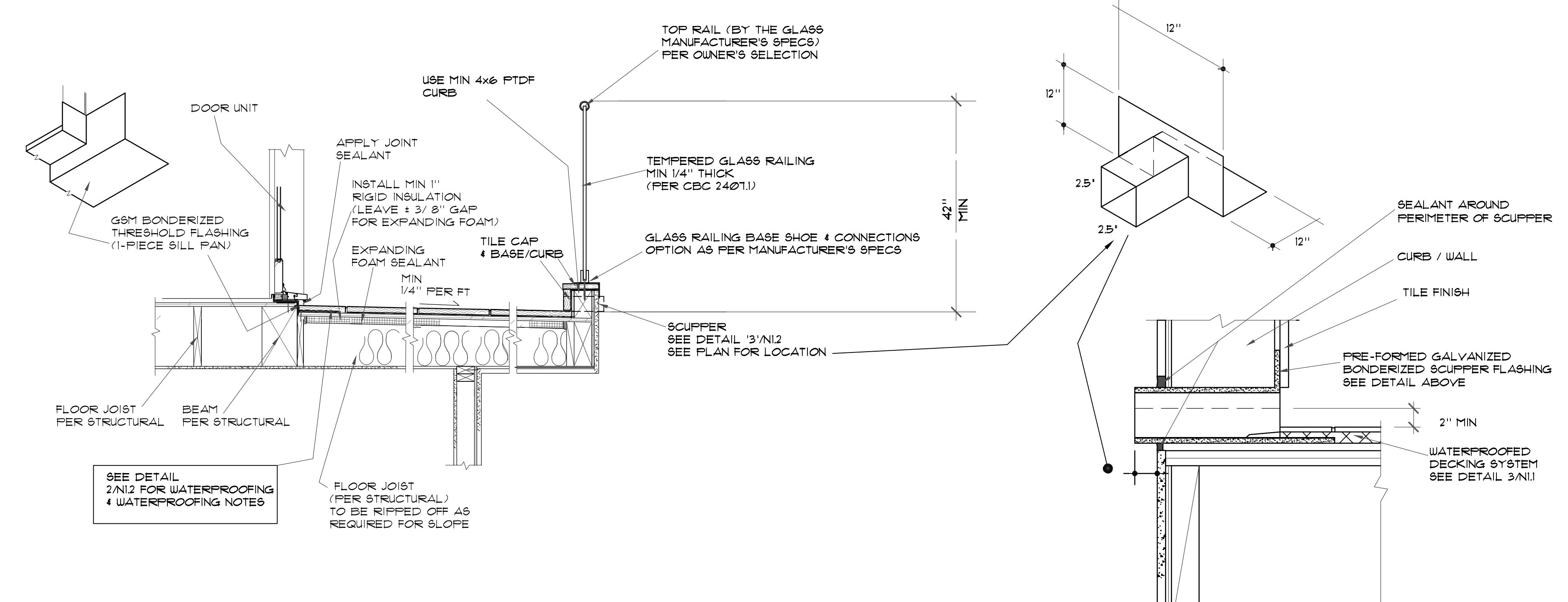


AT FRONT (BEDROOM 1 & GUEST ROOM)  
WINDOW SILL DETAIL

SCALE 1" = 1' - 0"



4 STONE VENEER  
N1.2 NO SCALE







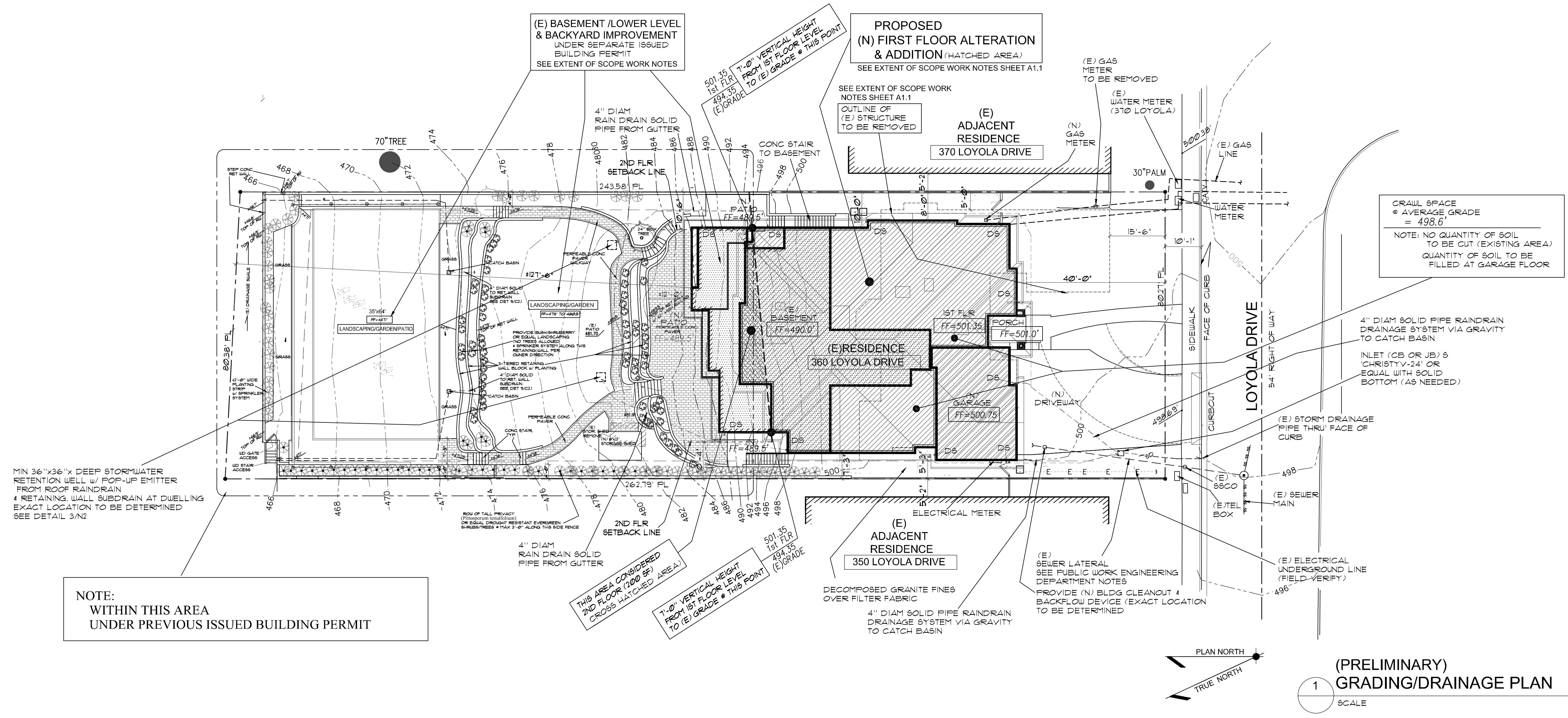


## GENERAL NOTES

1. All survey elevation shown based on the topographic survey by Lea & Braze Engineering Inc.
2. It is the responsibility of the Contractor to verify the location of all existing utilities with the appropriate agencies.
3. See Public Works Notes for other requirements.
4. All material and workmanship shall fully conform with the latest specification, standards and local ordinances of the City of Millbrae.

## PUBLIC WORKS NOTES:

1. Existing frontage improvements ( sidewalk, a.c., curb & gutter, ) that are damaged, cracked, elevated or depressed or that caused surface water ponding shall be removed and replaced by the applicant per City Standards.
2. The applicant/contractor shall obtain an encroachment permit from the City Public /Engineering Department prior to start of any work within City's Right of Way or public utility easement areas.
3. All work shall be done in accordance with the City Standards.
4. The storm runoff generated by the new development shall not drain onto adjacent properties. The existing storm drainage from the adjacent properties shall not be blocked by the new development.



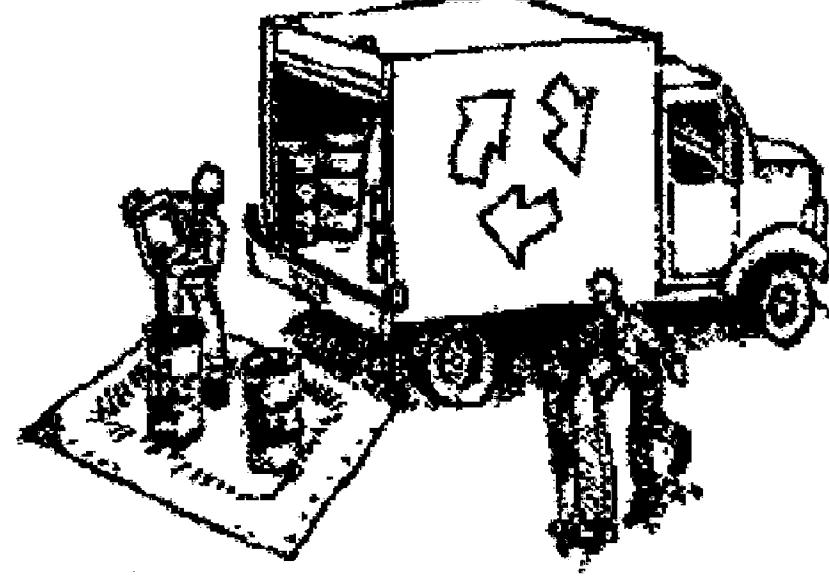
TE 10-22-20  
ALE AS NOTED  
AWN HE  
3  
EET  
**GD1**  
SHEET



# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



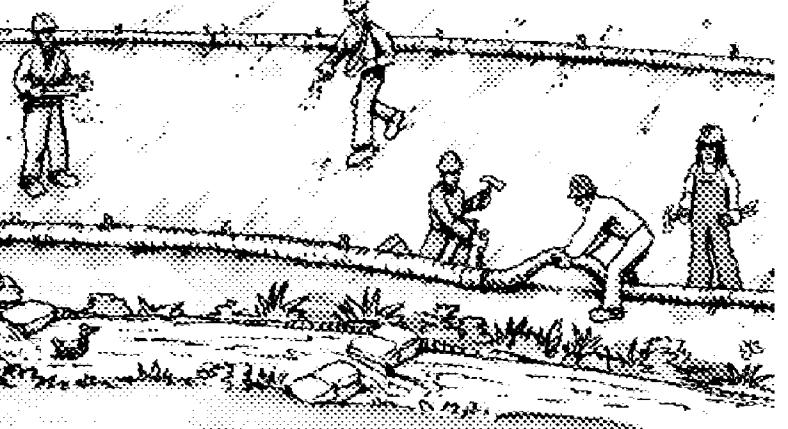
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

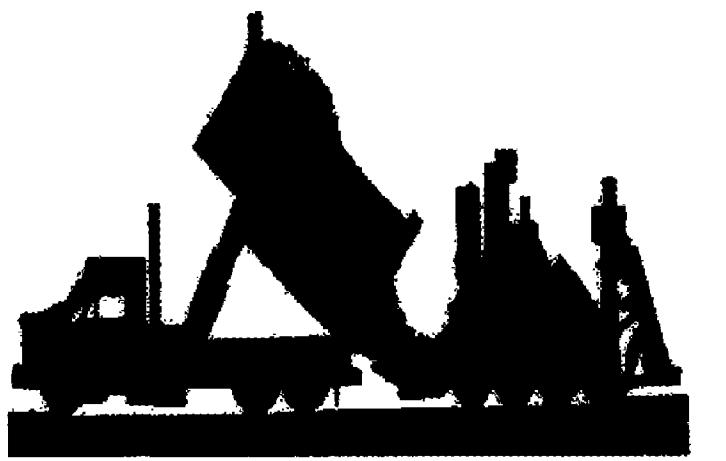
### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

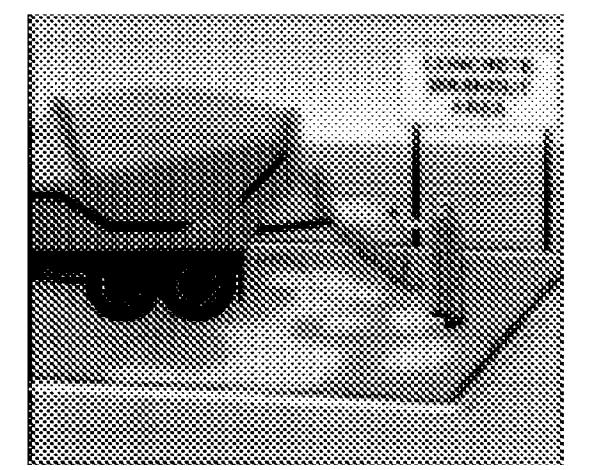
## Earthmoving



## Paving/Asphalt Work



## Concrete, Grout & Mortar Application

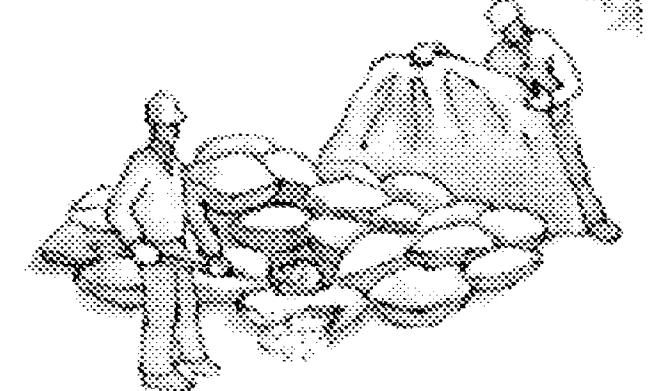


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

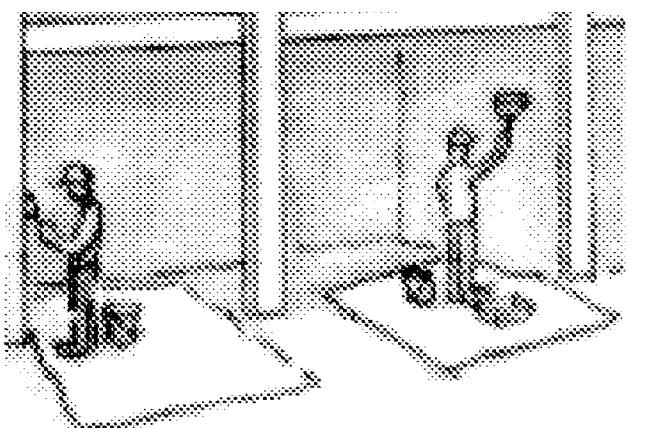
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

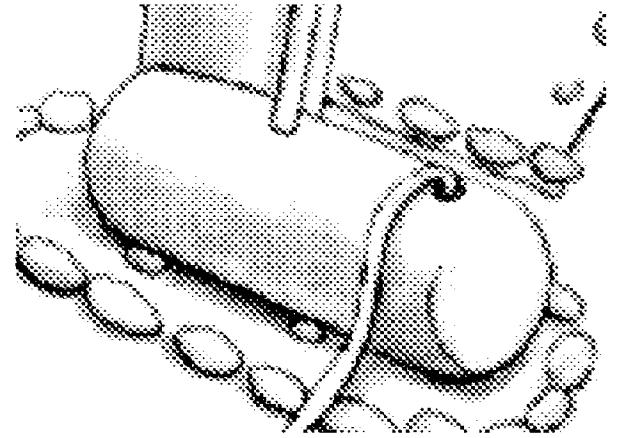
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!





LEFT SIDE VIEW



FRONT VIEW



RIGHT SIDE VIEW



REAR VIEW

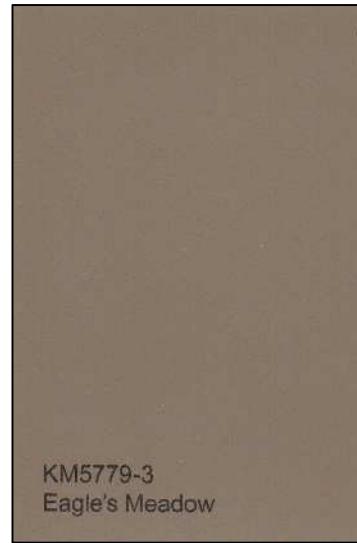


Black Pearl

COMPOSITION SHINGLE ROOFING  
CERTAINTEED 'GRAND MANOR'  
BLACK PEARL



407  
Carbon



KM5779-3  
Eagle's Meadow



KM5732-2  
Veranda Hills

EXTERIOR GRADE WD VENT,  
WD FACIA, GARAGE DOOR  
BRICKMOULD TRIMS  
COLOR: EAGLE'S MEADOW  
'KELLY MOORE' PAINT (C)

METAL GUTTER  
COLOR: CARBON  
'KELLY MOORE' PAINT (A)

WINDOW TRIMS, FACIA,  
COLUMN/POST, ETC  
COLOR: EAGLE'S MEADOW  
'KELLY MOORE' PAINT (C)

MAIN BODY/WALL, TYP  
COLOR: VERANDA HILLS  
'KELLY MOORE' PAINT (B)  
(SMOOTH FINISH STUCCO WALL)



SOLID WOOD GARAGE DOOR  
COLOR: VERANDA HILLS  
'KELLY MOORE' PAINT (B)

EXTERIOR GRADE  
LIGHT FIXTURE

'TRUSTILE' BY MARVIN BRAND  
ENTRY DOOR  
w/ GLAZING ON  
TWO TOP PANEL  
TO BE STAINED

w/ BRICKMOULD EXTERIOR WOOD CASING  
(COLOR TO MATCH @ TRIMS)



Pacific Ashlar Veneer  
'K2 STONE' VENEER

360 LOYOLA DRIVE